

CITY COUNCIL MEETING

MUNICIPAL COMPLEX, EILEEN DONDERO FOLEY COUNCIL CHAMBERS, PORTSMOUTH, NH
DATE: MONDAY, JULY 14, 2025 TIME: 7:00PM

With the exception of the site visit, members of the public also have the option to join the meeting over Zoom, a unique meeting ID and password will be provided once you register. To register, click on the link below or copy and paste this into your web browser
https://us06web.zoom.us/webinar/register/WN_tEqKd72qRWSWZdb3cfub7g

5:00PM - ANTICIPATED NON-PUBLIC SESSION IS BEING HELD IN CONFERENCE ROOM A PRIOR TO AND FOLLOWING THE SITE VISIT IN ACCORDANCE WITH RSA 91-A:3 II (a) (I)

5:30PM – OPENING OF HEARING & SITE VISIT REGARDING HIGHWAY LAYOUT OF COAKLEY ROAD EXTENSION (See Separate Agenda Attached)
https://us06web.zoom.us/webinar/register/WN_5IMybtqRT3GADLr-5fHcBA

AGENDA

- I. WORK SESSION
- II. PUBLIC DIALOGUE SESSION [when applicable – every other regularly scheduled meeting]
- III. CALL TO ORDER [7:00 p.m. or thereafter]
- IV. ROLL CALL
- V. INVOCATION
- VI. PLEDGE OF ALLEGIANCE
- VII. ACCEPTANCE OF MINUTES
- VIII. RECOGNITIONS AND VOLUNTEER COMMITTEE REPORTS
 1. Public Art Review Committee (PARC) Recommendations:
 - Remembering Connie Bean Request
 - Nebi Sculpture for Bohenko Gateway Park
- IX. PUBLIC COMMENT SESSION *(This session shall not exceed 45 minutes) – (participation may be in person or via Zoom)*
- X. PUBLIC HEARINGS AND VOTE ON ORDINANCES AND/OR RESOLUTIONS
 - A. REOPEN PUBLIC HEARING – Highway Layout of Coakley Road Extension ***(Sample motion – move to approve the Resolution regarding public necessity to acquire property for the layout of the Coakley Road Extension as drafted) (Please refer to the Coakley Road Extension meeting packet for supporting documentation)***
 - B. *(The Public Hearing on the below referenced Resolution will take place at the August 4, 2025 City Council meeting with the Resolutions for Projects to Begin in FY26)* Resolution Authorizing a Bond Issue and/or Notes of the City under the Municipal Finance Act of up to Four Million One Hundred Fifty Thousand Dollars (\$4,150,000.00) For Costs Related To:

- School Facilities Capital Improvements
- Elementary Schools Upgrade
- Elementary Schools Playground Upgrade

- C. PUBLIC HEARING and Second Reading of Ordinance Amending Chapter 7, Vehicles, Traffic and Parking, Article III, Traffic Ordinance, Section 7.324: Time Limited Free Parking for Residents and Special Military License Plates, (A) Free Fifteen Minute Parking for Residents, and (B) Free Three Hour Parking for Special Military License Plates

- **PRESENTATION**
- **CITY COUNCIL QUESTIONS**
- **PUBLIC HEARING SPEAKERS**
- **ADDITIONAL COUNCIL QUESTIONS AND DELIBERATIONS**

(Sample motion – move to pass second reading and hold third and final reading at the August 4, 2025, City Council meeting)

- D. PUBLIC HEARING and Second Reading of Ordinance regarding Chapter 10, Zoning Ordinance, City of Portsmouth Zoning Map be amended as follows: Rezone Parcels Described on the City Tax Map 125 Lot 16; Tax Map 138 Lot 61; Tax Map 138 Lot 62; and a portion of Tax Map 138 Lot 63 from Character District 5 (CD5) to Character District 4 (CD4); to Rezone a portion of Tax Map 138 Lot 63 from Character District 5 (CD5) to Character District L1 (CD4-L1); to change the Boundary of the North End Incentive Overlay District (NEIOD) to remove City Tax Map 138 Lot 61, Tax Map 138 Lot 60-3, and Tax Map 164 Lot 4 from the NEIOD and to Amend the Boundary of the Downtown Overlay District (DOD) to align with the amended NEIOD by removing City Tax Map 164 Lot 4, Tax Map 138 Lot 61, Tax Map 138 Lot 60-3 and a portion of Tax Map 138 Lot 63 from the DOD; to amend the Building Height Map from 2-4 stories (50 Feet) to 2-3 stories (40 feet) for parcels along Bridge Street to Foundry Place and along Hill Street for City Tax Map 125 Lot 16, Tax Map 138 Lot 62 and Tax Map 125 Lot 14 and to add a Building Height Standard of 2-3 stories (40 feet) along Rock Street to the Cul-De-Sac at Foundry Place for City Tax Map 138 Lot 63, Tax Map 138 Lot 60-2, and Tax Map 138 Lot 60-3. The Zoning Maps to be amended are referenced in the City's Zoning Ordinance at Chapter 10, Article 4, Zoning and District Use Regulations, Section 10.421, District Location and Boundaries, Section 10.421.10 and Chapter 10, Article 5A, Character Based Zoning, Section 10.5A21.10, Content of Regulation Plan, Map 10.5A21A (Character Districts and Civic Districts) and Map 10.5A21B (Building Height Standards), Collectively the "Zoning Maps"

- **PRESENTATION**
- **CITY COUNCIL QUESTIONS**
- **PUBLIC HEARING SPEAKERS**
- **ADDITIONAL COUNCIL QUESTIONS AND DELIBERATIONS**

(Sample motion – move to pass second reading and hold third and final reading at the August 4, 2025, City Council meeting)

XI. CITY MANAGER'S ITEMS WHICH REQUIRE ACTION

A. CITY MANAGER CONARD

City Manager's Items Which Require Action:

1. Acceptance and Approval of Tentative Agreement with the Association of Portsmouth School Administrators
2. Acceptance and Approval of Tentative Agreement with the Portsmouth Association of Clerical Employees
3. Acceptance and Approval of Tentative Agreement with the Portsmouth Supervisory Management Alliance

XII. CONSENT AGENDA

- A. Letter from Ben VanCamp, The Chamber Collaborative of Greater Portsmouth, requesting the use of Bohenko Gateway Park for street.*life!* 2025 on Wednesday, August 13, 2025, with a rain date of Thursday, August 14, 2025, from 6:00 p.m. – 8:30 p.m. ***(Anticipated action – move to refer to the City Manager with Authority to Act)***
- B. Letter from Bryan Curley, Veterans Count, requesting permission to hold the “All-American Fair” on Friday, September 5, 2025, from 5:00 p.m. to 9:00 p.m. at the Portsmouth International Airport at Pease ***(Anticipated action – move to refer to the City Manager with Authority to Act)***

XIII. PRESENTATIONS AND WRITTEN COMMUNICATIONS

- A. Presentation on South Mill Pond Playground Project Design from Ultiplay Parks & Playgrounds – Todd Henley, Recreation Director and Chris Martin, Ultiplay
- B. E-mail Correspondence ***(Sample motion – move to accept and place on file)***
- C. Letter from Elizabeth Bratter regarding rezone request under public hearings ***(Sample motion – move to accept and place on file)***

XIV. MAYOR McEACHERN

1. *Appointments to be Voted:
Reappointment of Larry Booz as an Alternate to the Historic District Commission
Reappointment of Margot Doering to the Historic District Commission
Reappointment of Martin Ryan to the Historic District Commission
Reappointment of Reagan Ruedig to the Historic District Commission
Reappointment of Robin Pickering to the Portsmouth Housing Authority

XV. CITY COUNCIL MEMBERS

A. COUNCILOR BAGLEY

1. Request for First Reading of the Annual Omnibus Ordinance (***Sample motion – move to schedule first reading of the Annual Omnibus Ordinance for the August 4, 2025 City Council meeting***)
2. *2026 Fireworks Display (***Sample motion – move to schedule a first reading at the August 4, 2025, City Council meeting for a supplemental appropriation of up to \$50,000.00 to support a fireworks display and event in celebration of the 250th anniversary of the United States in July 2026 if grants and donations are not procured. Also, to send a letter asking surrounding municipalities if they would be willing to contribute to the celebration***)

XVI. APPROVAL OF GRANTS/DONATIONS

XVII. CITY MANAGER'S INFORMATIONAL ITEMS

1. *Public Safety Update – Police Chief Newport
2. Proposed Timeline for Fall 2025 CIP Process

XVIII. MISCELLANEOUS BUSINESS INCLUDING BUSINESS REMAINING UNFINISHED AT PREVIOUS MEETING

XIX. ADJOURNMENT [at 10:30 p.m. or earlier]

**Indicates verbal report with no attachments*

**KELLI L. BARNABY, MMC/CNHMC
CITY CLERK**

CITY OF PORTSMOUTH, NH
Public Art Review Committee

June 27, 2025

Memorandum

To: Honorable Mayor and City Council
From: Public Art Review Committee (PARC)
Subject: Recommendation re: Remembering Connie Bean Request

PARC received a request via the City's Recreation Department to review a proposed donation of a display for the Connie Bean Recreation Center in honor of its namesake. **PARC determined that the proposed donation does not meet its public art guidelines and declined to review it as public art. Instead, PARC recommends that the Council treat the proposed work under its donation guidelines.**

The proposed donation is a display with explanatory text and mementos honoring the life of a long time City employee. If the City Council chooses to accept the donation, PARC recommends considering an approach to fabrication that does not apply paint or text directly to the recreation building walls—similar to the approach AlphaGraphics used for the Ruth Blay memorial.

Further, PARC recommends that the City Council provide guidelines specifying how, when, and where building namesakes and/or individuals such as City employees should be memorialized within public buildings along with the process for approval.



REMEMERING CONNIE BEAN

Proposal to the Public Art Committee



JUNE 6, 2025

THE CONNIE BEAN FAMILY

Contents

Overview of proposal	2
Sketch of Artwork and placement of quotes and informational posters.....	4
Approximate Sizes and Placement of Printed Areas	5
.....	
#1 Text below Connie Bean Community Center sign (already in place):	6
#2 Text of history with naming proclamation, and sketch:.....	7
#3 Text with Connie’s photo:	8
#4 Text with Easter Egg Hunt Photo:.....	9
#5 Text with photos of crafts and ribbons	10
#6 Three Quotes that highlight Connie’s character and leadership.	11
Artists & Companies	12
Maureen O’Leary.....	12
Ken Goldman – Photographer.....	13
AlphaGraphics Portsmouth	13
TimeLine.....	14

Overview of proposal

Connie Bean Commemorative Wall Proposal

The Connie Bean family would like to donate funds to create a commemorative wall honoring their mother and her impactful work in Portsmouth. This display would be located at the Connie Bean Center and would celebrate her contributions to the community—particularly in youth recreation.

In *Legendary Locals of Portsmouth*, author Charles McMahon writes:

“Connie Bean worked for the City of Portsmouth Recreation Department for 35 years, most of that time as an administrative assistant. She was known for her caring and generosity, often giving out meals, money, or rides home to children in need. She was truly a champion of youth recreation.”

Many in our community fondly remember Connie and her generous spirit. However, there are also those who never had the chance to meet her. This wall will help preserve and share her story for future generations.

Project Status

We have:

- Preliminary sketch of the display
- A clear project process in place
- Key team members and partners confirmed

Project Contributors:

- **The Bean Family will provide all funding for this project.**
- **Maureen O’Leary**, a local artist, will paint the mural
- **Kenneth Goldman** will provide professional photography
- **AlphaGraphics** of Portsmouth (who completed the Ruth Blay installation) will finalize the design, print vinyl images and lettering, and handle installation

Community Involvement

We would like to invite the community to participate by sharing memories, quotes, and photographs of Connie. This outreach will help build excitement and may guide final decisions on what to include in the display.

Display Details

The installation will feature:

- Quotes describing Connie's character and leadership
- Four posters, each highlighting a different aspect of her work
- A photo of the original proclamation naming the Connie Bean Community Center
- A history of the building and its relocation
- A portrait of Connie with a brief biography
- A black-and-white photo of Connie at the Easter Egg Roll
- A collage of crafts made with Connie and ribbons from the Summer Olympics she organized
- The display will be framed by a painted depiction of the columns from the original building



- A clear plastic "share your memories" collection box will be installed to the right of the display.

- This project is a meaningful way to preserve and celebrate Connie Bean's legacy in Portsmouth, ensuring her story continues to inspire future generations.

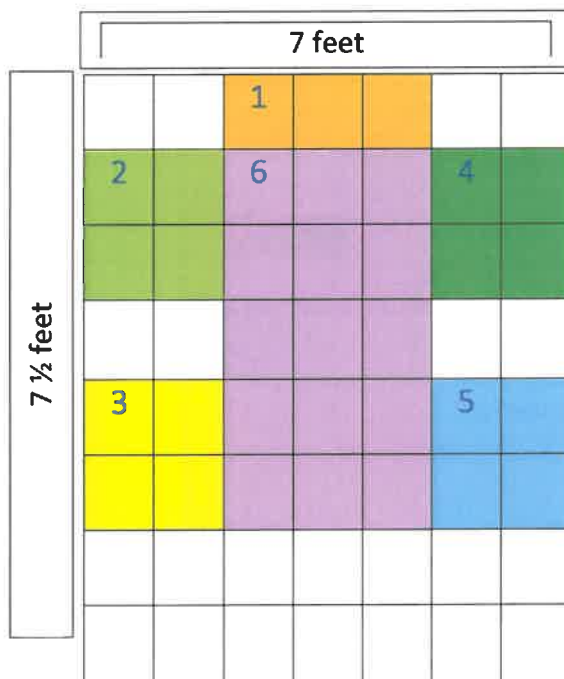


Location for "Remembering Connie Bean" display

Sketch of Artwork and placement of quotes and informational posters.



Approximate Sizes and Placement of Printed Areas



- #1 10 x 18 - title – Remembering Connie
- #2 20 x 24 horizontal proclamation
- #3 16 x 20 vertical - Connie
- #4 16 x 20 horizontal - Easter photo
- #5 16 x 20 vertical - crafts
- #6 3 feet by 5 feet - 3 quotes

Complete text by number on pages 6-11

#1 Text below Connie Bean Community Center sign (already in place):

REMEMBERING CONNIE BEAN

#2 Text of history with naming proclamation, and sketch:



On September 12, 1984, 135 Daniel Street was officially named the Connie Bean Community Center. The proclamation was presented to the Bean family by Mayor Eileen Foley in recognition of Connie Bean's contributions.

The building originally opened in 1916, during World War I, as the Army and Navy Association Building. It served as a recreation center for military personnel when off duty. During World War II, it operated as a United Service Organization (USO) center, continuing its mission of supporting service members.

After World War II, the building was decommissioned and deeded to the City of Portsmouth. In 1941, a gymnasium was added, making the facility a popular gathering place for amateur athletics and youth programs.

In 1984, the Portsmouth Recreation Center was renamed the Connie Bean Community Center as a tribute to Connie Bean's legacy.

The building was sold in 2012. Later that year, a new Connie Bean gym was opened, continuing the tradition of providing valuable recreational resources to the Portsmouth community.

The columns painted here honor the history of the original center and its lasting impact on generations of residents.



#3 Text with Connie's photo:



In his book *Legendary Locals of Portsmouth*, Charles McMahon wrote:

“Connie Bean worked for the City of Portsmouth Recreation Department for 35 years, most of that time as an administrative assistant. She was known for her caring and generosity—often giving out meals, money, or rides home to children in need. She was truly a champion of youth recreation.”

Constance “Connie” Bean was a dedicated public servant who worked at the Portsmouth Recreation Department from 1948 to 1984. A devoted mother of five, she also became a maternal figure to countless young people in the community.

If the recreation center was open, Connie was there—making sure it was a safe, welcoming space and that everyone's needs were met. She was an early advocate for equal access to recreation, especially for girls, and believed in the fair treatment of all.

Connie led by example—with integrity, compassion, and a deep commitment to her community. Her legacy continues to inspire, having left a lasting impact not only on generations of local youth but on the entire City of Portsmouth.

#4 Text with Easter Egg Hunt Photo:



Sentiment shared on the "As a Child I Remember Growing Up in Portsmouth" Facebook page:

Connie Bean was a wonderful role model who created countless opportunities for children to stay active and engaged.

No matter the weather—rain, snow, or cold—the annual Portsmouth Easter Egg Hunt at Leary Field always went on. Connie loved this tradition and took great joy in hiding the eggs and preparing Easter baskets for the children each year.

#5 Text with photos of crafts and ribbons



"Crafts with Connie at the JFK Center and the Summer Olympics were a highlight of my childhood. I'm 68 now, and I still have the mosaic tile I made and the ribbon I won for third place in the three-legged race—both treasured memories." Quote from a Portsmouth resident

Arts, Crafts, and Summer Fun with Connie

In the summers, Connie's weekly arts and crafts classes were a beloved tradition for Portsmouth kids. Whether it was making coin purses, lanyards, or potholders, every child left with something handmade and a sense of pride.

Citywide Summer Olympics and Swim Meet

Another summer tradition was the Citywide Summer Olympics at Leary Field and the Swim Meet at Pierce Island, where playgrounds from across Portsmouth competed. Connie put her heart into these events, even hand-lettering each ribbon awarded to the winners—just one of the many ways she made every child feel special.

Under display towards bottom of wall:

Exhibit funded by the Bean Family

Maureen Oleary painting

Printing and Installation Alpagraphics Portsmouth

#6 Three Quotes that highlight Connie's character and leadership.

Connie did not look upon her job as work. It was a labor of love.

School and Recreation Board member Frank Slover – 1984

Connie did not make a lot headlines but she made a lot of headway.

Councilman Jay Foley - 1984

The Connie Bean was one place parents felt comfortable dropping off their kids at night. They knew they would be safe under the watch of Connie who would make sure every child was cared for.

Mary Carey Foley – 2009



Artists & Companies

Painted columns – Process and Bio

Maureen O’Leary, a local artist, will complete the acrylic painting that will serve as a decorative frame around the display area.

Process Overview

Wall Preparation:

- The entire entry wall will first be painted with a darker putty-colored primer, the same shade currently visible at the top of the existing wall. This will provide a strong visual backdrop for the creamy white columns and maintain consistency with the interior color palette of the building.



- Depending on the condition of the primed surface, a layer of acrylic gesso may be applied to prepare the painting area.

Paints and Sealing:

- The artwork will be created using Winsor & Newton Professional Acrylic Paints.
- After the painting is complete, it will be left to dry for at least 48 hours.
- Finally, a clear, water-based sealer with a matte finish will be applied to protect the work.

Brief Art Bio – Maureen O’Leary:

Over the years, I’ve studied visual arts—including drawing, watercolor, acrylics, oil painting, and pastels—at Plymouth State College, the University of New Hampshire, Sanctuary Arts, and through workshops with various artists.

My studies in oil painting with realism artists Sean Beavers and Sydney Bella Sparrow at Sanctuary Arts are especially relevant to this project.



Pictured are two of my still life oil paintings. I cannot look at any realistic study now without asking, what do I see?”

Since 2019, I’ve taught drawing and watercolor at the Portsmouth Senior Center. In recent years, I’ve especially enjoyed leading a beginner watercolor class there. Teaching gives me the chance to continue exploring watercolor myself while encouraging others in their artistic journey. I truly enjoy watching their progress!

Ken Goldman – Photographer

Since moving to Portsmouth, Ken has exhibited his work numerous times. His black and white photo of the Albacore is part of the *Reflections of Portsmouth* exhibit at the Foundry Place Garage. He exhibited with NHSPA in Exeter and Kimball-Jenkins, with his photo *Tall Ships* being featured on the 2019 Exeter exhibit poster. He also participated in New Hampshire Now with photos exhibited at seven of the eight venues, and three photos selected for the book. His photos were juried into three Annual Jack Parfitt Photography Exhibitions at the New Hampshire Art Association, and he has exhibited at the Portsmouth Historical Society, the Portsmouth Public Library, the Portsmouth Senior Activity Center, and the Portsmouth Athenæum.

To see some of his work go to: <https://nhspa.wildapricot.org/news/13176811>

AlphaGraphics Portsmouth

A local print shop and marketing agency located at
230 Corporate Drive
Portsmouth, New Hampshire 03801.

At AlphaGraphics Portsmouth, they are a premier [marketing](#) and [printing](#) solution company—serving the entire Seacoast area and beyond. [AlphaGraphics Portsmouth](#), focuses on results and the return on investment of your marketing dollars. They are your local visual marketing and communication experts, who truly care about product quality, customer satisfaction, and long-term partnerships with our clients.

Example of vinyl lettering applied on concrete block.



TimeLine

End of June, 2025 – Early July

Wall Preparation and Primer – work completed by contractor

Preparing a concrete block wall for a mural is an important step to ensure that the paint adheres properly and lasts long. Here's a step-by-step guide on how to do it:

1. Clean the Wall

Remove Dirt and Debris: Use a broom, brush to remove any dirt, dust, or debris from the surface of the concrete blocks.

- **Wash the Wall:** If the wall has stains, use a mixture of water and mild detergent or a concrete cleaner. Scrub the surface with a wire brush or stiff bristle brush to loosen any grime.
- **Let it Dry:** Allow the wall to dry completely before proceeding.

2. Repair Any Cracks or Holes

Inspect for Damage: Concrete walls often have cracks, holes, or rough areas. These should be repaired before painting.

3. Prime the Wall

Apply a Concrete Primer: Concrete is porous, so applying a primer is essential for creating a solid base for the paint to adhere to.

- It is best to use a heavy-duty primer that will block stains and prevent moisture from affecting the mural.

Suggested primers include:

- Primecoat 2 Primer and Sealer by Zinsser
- Kilz 2 all-purpose primer
- Bulls Eye 123 Primer

July 21 – August 1

Complete Mural - Maureen O'Leary

- Lift operator arranged with recreation department.

July 21 – August 15 – Finalized photographs with Ken Goldman and finalize poster art and text with AlphaGraphic Designer.

August 29, 2025, 30 to 60 days after primer painting is completed AlphaGraphic will install vinyl art and text.

Future Vision:

As we collect meaningful quotes and stories about Connie Bean, the family may, in the future, collaborate with the Recreation Department to feature additional quotes inside the gym. These could serve as lasting reminders of Connie's legacy and values—continuing to inspire young people and community members who use the space every day.

CITY OF PORTSMOUTH, NH
Public Art Review Committee

July 9, 2025

Memorandum

To: Honorable Mayor and City Council
From: Public Art Review Committee (PARC)
Subject: Recommendation re: Nebi Sculpture for Bohenko Gateway Park

PARC requests City Council approval for the next expansion of public art in Bohenko Gateway Park with a bronze sculpture, “Nebi” by local artist Anthony Alemany. Council approval would:

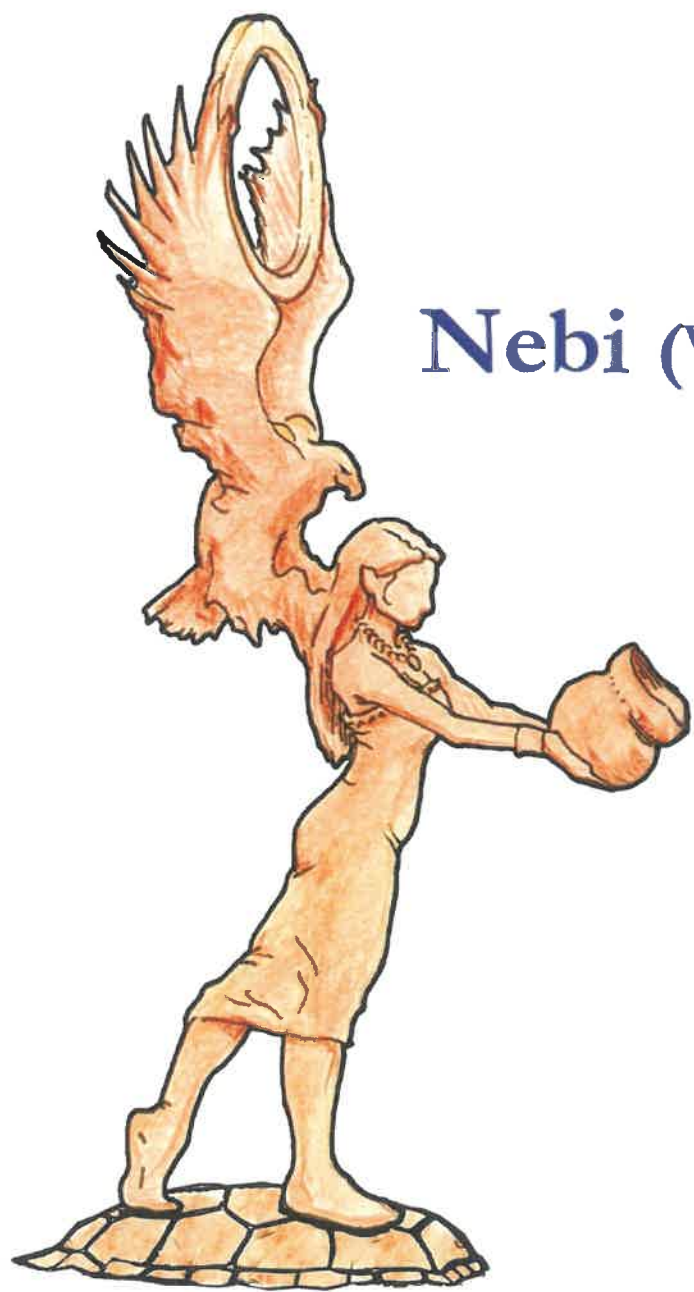
- (1) authorize PARC to raise approximately \$125,000 in private funds;
- (2) expend resources from PARC funds to undertake soils testing necessary for planning the engineering for installation;
- (3) work with the Legal Department to contract with Alemany, aligning payments to fundraising and development phases; and
- (4) work with the Department of Public Works to locate and install the sculpture.

A committee has been formed to raise funds through grants and corporate and individual donations. The piece would be cast at Green Foundry in Eliot, Maine.

Background and Selection

“Nebi” was one of the finalists when PNH400 selected Sijia Chen’s “Endeavor” for Bohenko Gateway Park. Since then, public art in the park has expanded to include Terrence Parker’s “Cod and the Mortal Sea”, also funded by PNH400. The original park plan called for six to eight works of art, all with a connection to Portsmouth’s maritime heritage.

Because the “Endeavor” finalists had been carefully vetted by a review team of community leaders and the Portsmouth Department of Public Works, PARC decided to review the finalist submittals when considering the next artwork for the park. At the June 25 PARC meeting, attended by the artist, PARC members unanimously voted to move forward with “Nebi”, a 9-foot bronze sculpture (see attached sketch), featuring “Nebin,” a Wabanaki woman with an eagle perched on her shoulders who represents summer, chasing winter up to the north.



Nebi (Water)

“Nebi” was selected based on the following:

- Connection to the Wabanaki people, who lived here for thousands of years before the English arrived which reflects Portsmouth's layered and long history, honoring the enduring relationship between people and place.
- Symbolism, including the great eagle, recognizing the connection to both earth and sky; kesos, the sun and full moon; and the great turtle, the Indigenous equivalent of Mother Earth. The artist is collaborating with local Indigenous leaders.
- Professionalism and depth of experience of the artist and the foundry, both local.
- Durability of materials and ease of maintenance.

Next Steps

The approximate 12-month process will include design development and maquette sculpting, life-size sculpting, foundry casting and final finishing, and delivery and installation. With Council approval, PARC will stage planning phases to coincide with fundraising.

Based on a preliminary meeting with the Portsmouth Department of Public Works and the artist at the site, a decision was made to install the 400-lb sculpture close to the water (on the grass) in front of the four benches to the right (south) of the pavilion (facing the water). Nebi would greet pedestrians walking into the park from downtown.

AGENDA

- I. CALL TO ORDER – Mayor McEachern
- II. ROLL CALL
- III. OPENING OF HEARING – Brief overview by City staff of process and purpose
- IV. 5:45 p.m. – RECONVENE AT 100 COAKLEY ROAD – Transportation of City Councilors to be arranged for by City
- V. SITE VISIT OF 100 COAKLEY ROAD AND 650 BORTHWICK AVENUE PROJECT AREA
- VI. RECESS UNTIL 7:00 P.M. AT CITY HALL EILEEN DONDERO FOLEY COUNCIL CHAMBERS
- VII. REOPEN PUBLIC HEARING IN EILEEN DONDERO FOLEY CITY COUNCIL CHAMBERS AT 7:00 P.M.
- VIII. PRESENTATION OF THE PROJECT BY CITY STAFF
- IX. PUBLIC HEARING FOR TAKING OF TESTIMONY
- X. CONSIDERATION OF RESOLUTION
- XI. ADJOURNMENT

KELLI L. BARNABY, MMC/CNHMC
CITY CLERK

NOTICE OF HEARING
PUBLIC USE AND NECESSITY

HEARING REGARDING HIGHWAY LAYOUT
COAKLEY ROAD EXTENSION

MONDAY, JULY 14, 2025

5:30 PM OPENING OF HEARING AND SITE VISIT

7:00 PM RECONVENING OF HEARING, TAKING OF EVIDENCE AND PUBLIC COMMENT

Eileen Dondero Foley Council Chambers at City Hall
1 Junkins Avenue, Portsmouth, NH 03801

The Portsmouth City Council will conduct a view and hold a public hearing for the purpose of receiving evidence and hearing public comment relative to the layout of a highway and acquisition of property (permanent and temporary easements) to successfully install a new roadway connecting Coakley Road and Borthwick Avenue.

The purpose of the hearing is to establish the public use of, and public necessity for, temporary and permanent easements in connection with the project. This public hearing initiates the process for conducting eminent domain proceedings should the City of Portsmouth be unable to reach agreement to acquire the necessary easement interests. This hearing specifically concerns property located at 100 Coakley Road and 650 Borthwick Avenue. Present owners – GPP Properties 1995 1 LLC (100 Coakley Road, Tax Assessor's Map 234, Lot 6) and Naveesha Hospitality LLC (650 Borthwick Avenue, Tax Assessor's Map 234, Lot 7-6).

The City Council will assemble at 5:30 p.m. in the Eileen Dondero Foley Council Chambers and open the hearing. The City Council will first conduct a site visit to answer City Councilor questions and make an on-foot site visit. The public is welcome to attend the site view, although no testimony from the public will be taken at that time.

After the view, the hearing will be recessed and then reconvened in the Eileen Dondero Foley Council Chambers at 7:00 p.m. for purposes of taking testimony and action. Members of the public may participate in person or via Zoom. Registration link for zoom attendance to be found on the City of Portsmouth website, www.portsmouthnh.gov, see the meetings calendar. Following the close of the public hearing and City Council action, the regularly scheduled City Council meeting will commence.

The interests in land to be acquired include the following impacts to 100 Coakley Road: a temporary construction easement of $\pm 6,900$ sq. ft. and permanent right of way of $\pm 5,979$ sq. ft.; and the following impacts to 650 Borthwick Avenue: a temporary construction easement of $\pm 15,150$ sq. ft. and permanent right of way of $\pm 5,901$ sq. ft.

Complete details of the project and a map showing the property subject to this public necessity hearing may be seen by any member of the public during normal business hours (8:00 a.m. to 4:30 p.m.) at the Department of Public Works located at 680 Peverly Hill Road, Portsmouth, NH, by contacting Eric Eby, Traffic Engineer at 603-766-1415.

KELLI L. BARNABY, MMC/CNHMC
PORTSMOUTH, NH CITY CLERK

**NOTICE OF HEARING
PUBLIC USE AND
NECESSITY**

**HEARING REGARDING
HIGHWAY LAYOUT
COAKLEY ROAD
EXTENSION**

MONDAY, JULY 14, 2025
5:30 PM OPENING OF
HEARING AND SITE VISIT
7:00 PM RECONVENING
OF HEARING, TAKING OF
EVIDENCE AND PUBLIC
COMMENT

Eileen Dondero Foley Coun-
cil Chambers at City Hall
1 Jenkins Avenue,
Portsmouth, NH 03801

The Portsmouth City Council
will conduct a view and hold
a public hearing for the
purpose of receiving
evidence and hearing public
comment relative to the
layout of a highway and
acquisition of property
(permanent and temporary
easements) to successfully

install a new roadway
connecting Coakley Road
and Borthwick Avenue.

The purpose of the hearing is
to establish the public use of,
and public necessity for,
temporary and permanent
easements in connection with
the project. This public hear-
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conducting eminent domain
proceedings should the City
of Portsmouth be unable to
reach agreement to acquire
the necessary easement
interests. This hearing
specifically concerns prop-
erty located at 100 Coakley
Road and 650 Borthwick
Avenue. Present owners -
GFP Properties 1995 1 LLC,
(100 Coakley Road, Tax
Assessor's Map 234, Lot 6) and
Naveesha Hospitality
LLC (650 Borthwick Avenue,
Tax Assessor's Map 234, Lot
7-6).

The City Council will assem-
ble at 5:30 p.m. in the Eileen
Dondero Foley Council
Chambers and open the hear-
ing. The City Council will
first conduct a site visit to
answer City Councilor ques-
tions and make an on-foot
site visit. The public is
welcome to attend the site
view, although no testimony
from the public will be taken
at that time.

After the view, the hearing
will be recessed and then
reconvened in the Eileen
Dondero Foley Council
Chambers at 7:00 p.m. for
purposes of taking testimony
and action. Members of the
public may participate in
person or via Zoom. Regis-
tration link for zoom atten-
dance to be found on the City
of Portsmouth website,
www.portsmouthnh.gov, see
the meetings calendar.
Following the close of the
public hearing and City
Council action, the regularly
scheduled City Council meet-
ing will commence.

The interests in land to be
acquired include the follow-
ing impacts to 100 Coakley
Road: a temporary construc-
tion easement of $\pm 6,900$ sq.

ft. and permanent right of
way of $\pm 5,979$ sq. ft.; and the
following impacts to 650
Borthwick Avenue: a tempo-
rary construction easement
of $\pm 15,150$ sq. ft. and perma-
nent right of way of $\pm 5,901$
sq. ft.

Complete details of the
project and a map showing
the property subject to this
public necessity hearing may
be seen by any member of
the public during normal
business hours (8:00 a.m. to
4:30 p.m.) at the Department
of Public Works located at
680 Peverly Hill Road,
Portsmouth, NH, by contact-
ing Eric Eby, Traffic Engi-
neer at 603-766-1415.

KELLI L. BARNABY,
MMC/CNHMC
PORTSMOUTH, NH CITY
CLERK



Trevor P. McCourt
Deputy City Attorney

CITY OF PORTSMOUTH

Legal Department
Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801
tmccourt@portsmouthnh.gov
(603) 610-7234

Date: July 8, 2025

To: Karen S. Conard, City Manager

From: Eric Eby, City Engineer -Parking, Transportation and Planning
Trevor P. McCourt, Deputy City Attorney

Re: Layout of Right of Way – Coakley Road Connector Evidence of Necessity

At the June 9, 2025 City Council meeting, the City Council voted to schedule a public hearing to consider the layout of a new highway connecting Borthwick Avenue to Coakley Road. This new roadway would support a larger traffic improvement initiative and anticipated roadwork on Coakley Road and along the Route 1 Bypass, particularly between Borthwick Avenue and the Portsmouth Traffic Circle.

The proposed roadway will cross property occupied by the Fairfield Inn and the Granite Group Plumbing Supply, and is depicted on the plan attached as Exhibit A. Design Plans for the project, at the 60 percent stage, are included as Exhibit B.

To reduce long-standing congestion and address safety concerns in this area, the City has secured federal funding and is coordinating with the New Hampshire Department of Transportation on a project to eliminate the traffic signal at the intersection of Route 1 Bypass, Coakley Road, and Cottage Street. The plan calls for extending the median island on the Bypass to block left turns to and from Coakley Road and Cottage Street.

To implement these traffic changes safely and effectively, the City must create a new connector road between Coakley Road and Borthwick Avenue. This connector will allow residents and businesses along Coakley Road to reach the signalized intersection at Borthwick Avenue, preserving access to the Traffic Circle and points beyond.

The connector roadway will also provide improved access to the abutting businesses and neighborhood, allowing access from Coakley Road and Borthwick Avenue and providing direct connection to the multiuse path along Borthwick Avenue.

The Planning Board considered this matter, and recommended that the City Council acquire the roadway and easements necessary to complete the Coakley Road Extension Project. Exhibit C.

If the City Council finds there is occasion to layout the roadway depicted on Exhibit A, a draft resolution is included as Exhibit D for the City Council's consideration.

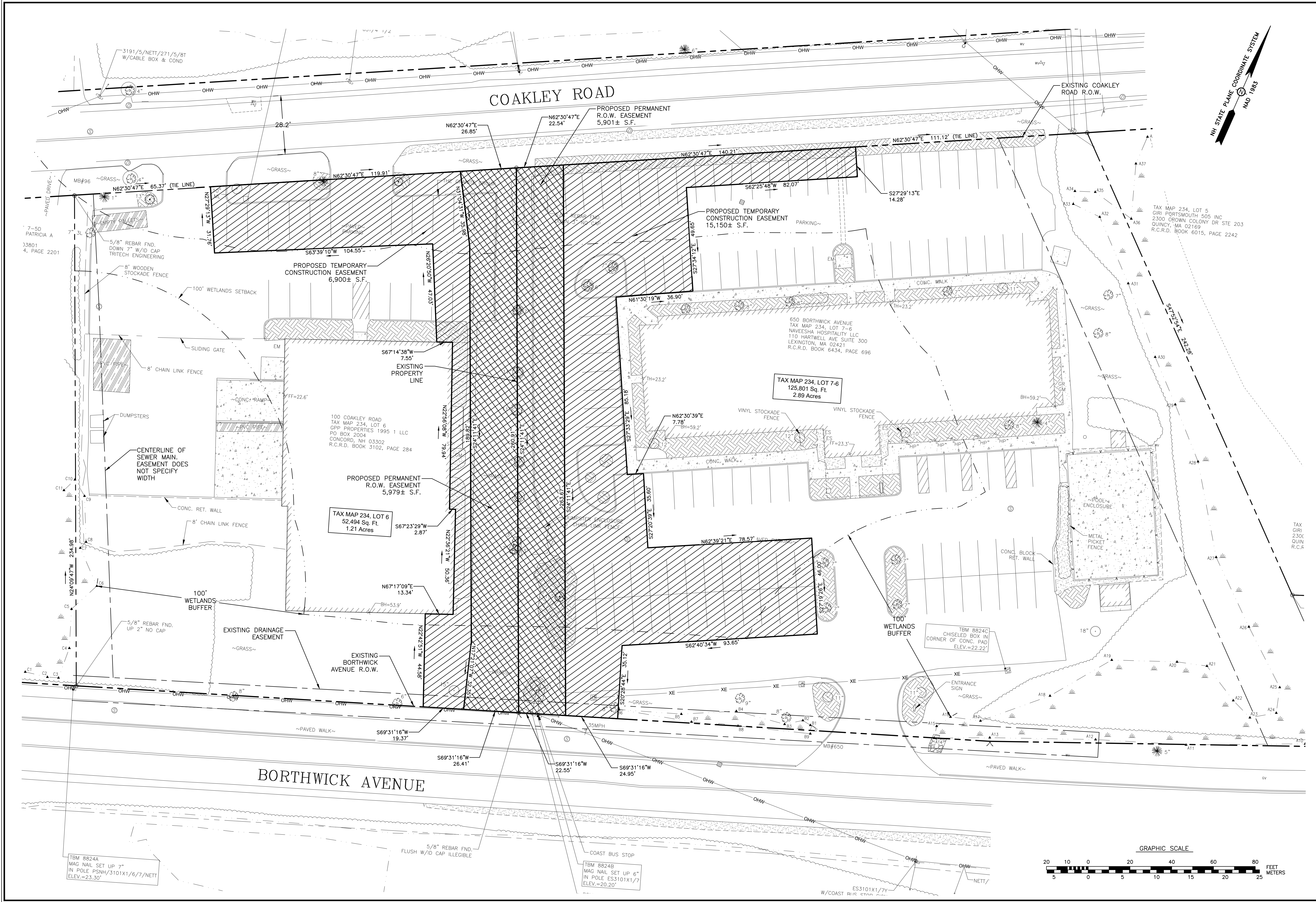
Proposed Motion: Move to approve the Resolution regarding public necessity to acquire property for the layout of the Coakley Road Connector as drafted.

Attachments (4)

cc: Kelli L. Barnaby, City Clerk
Susan Morrell, City Attorney
Jessica S. Griffin, Assistant to the City Manager

Coakley Road Connector Project

- A. Borthwick – Coakley Connector Road drawing with metes & bounds, dated 7/4/2025
- B. Borthwick – Coakley Connector Road drawings, dated 2/21/2025
- C. Memorandum to Karen Conard, City Manager from Peter Stith, Planning Manager,
dated 6/23/2025
- D. Resolution



PROJECT: BORTHWICK - COAKLEY CONNECTOR ROAD		DATE: JANUARY 2025	
SHEET: E-002		SCALE: AS SHOWN	
TITLE: PROPOSED EASEMENT PLAN		PROJ. NO.: 7251	
		APVD BY: MRB	
		DEPARTMENT OF PUBLIC WORKS	
		CITY OF PORTSMOUTH, NH	
		680 FEVERY HILL ROAD	
		603-427-1530	
		NO.	
		ISSUED FOR REVIEW	
		MRB	
		06/10/25	
		APPD	
		MRB	
		07/04/25	
		ADDED METES & BOUNDS	
		REVISIONS	
		DATE	

BORTHWICK - COAKLEY CONNECTOR ROAD
PORTSMOUTH, NEW HAMPSHIRE
Project #7251

FALL 2025



DEPARTMENT OF
PUBLIC WORKS
CITY OF PORTSMOUTH, NH
680 PEVERLY HILL ROAD
603-427-1530



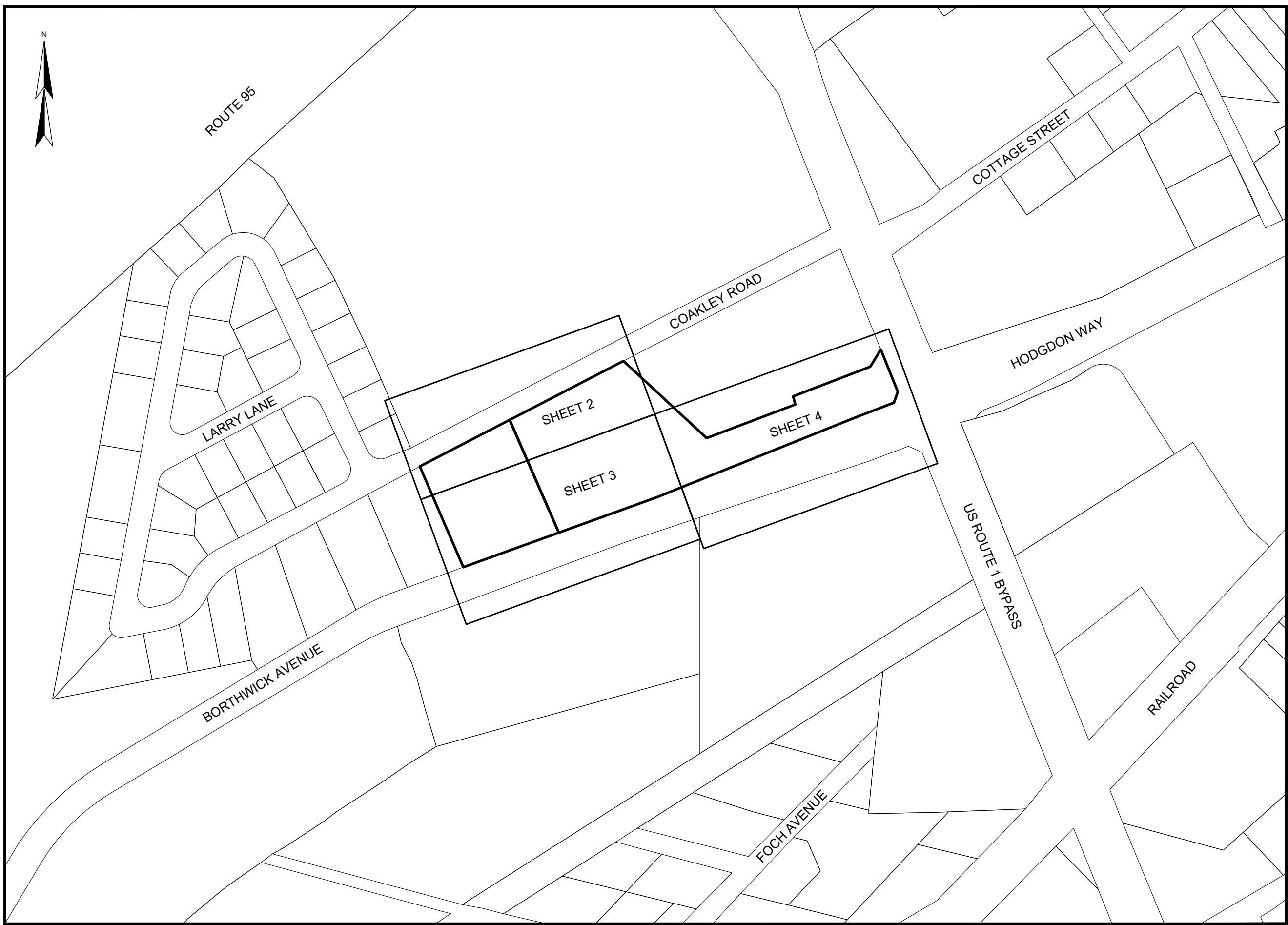
LOCATION MAP
SCALE: N.T.S

INDEX	SHEET NO.
LEGEND & GENERAL NOTES	G-101
EXISTING CONDITIONS PLANS (DOUCET)	
PROPOSED EASEMENT PLAN	C-001
DEMOLITION PLAN	C-101
ROADWAY LAYOUT PLANS	C-201
GRADING, DRAINAGE & UTILITIES PLANS	C-301
LANDSCAPING PLANS	C-501
DETAILS SHEETS	C-601 TO C-604

SURVEY BY:
DOUCET SURVEY, LLC
102 KENT PLACE
NEWMARKET, NH 03857
WWW.DOUCETSURVEY.COM
603-659-6560

DESIGN BY:
CITY OF PORTSMOUTH - PUBLIC WORKS
680 PEVERLY HILL ROAD
PORTSMOUTH, NH 03801
603-427-1530

ISSUED FOR 60% REVIEW
2/21/2025



The map shows the study area's location relative to major roads. A north arrow is in the top left. I-95 runs vertically on the left, with I-4 and I-1 running horizontally at the top. US-1 Bypass runs vertically on the right. Woodbury Ave runs diagonally from the top right. Borthwick Ave runs diagonally from the bottom left. Blunkton St runs diagonally from the bottom. Conley Rd runs horizontally across the middle. A shaded area labeled 'SITE' is located between Borthwick Ave and Conley Rd.

DRAFT
1/27/25

DATE _____

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTER OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.














































NOTES:

1. UNDERGROUND UTILITIES SHOWN HEREON ARE BASED ON OBSERVED PHYSICAL EVIDENCE AND PAINT MARKS FOUND ON-SITE. RECORD UNDERGROUND UTILITY INFORMATION IS BASED UPON INFORMATION PROVIDED BY UNTIL AND THE CITY OF PORTSMOUTH. THIS DOCUMENT IS ONLY INTENDED TO BE USED TO HELP FACILITATE A GRAPHIC REPRESENTATION, AND DO NOT REPRESENT SURVEY LOCATIONS.
12. THE ACCURACY OF MEASURED UTILITY INVERTS AND PIPE SIZES/TYPES IS SUBJECT TO NUMEROUS FIELD CONDITIONS, INCLUDING; THE ABILITY TO MAKE VISUAL OBSERVATIONS, DIRECT ACCESS TO THE VARIOUS ELEMENTS, MANHOLE CONFIGURATION, ETC.
13. DUE TO THE COMPLEXITY OF RESEARCHING ROAD RECORDS AS A RESULT OF INCOMPLETE, UNORGANIZED, INCONCLUSIVE, OBLITERATED, OR LOST DOCUMENTS, THERE IS AN INHERENT UNCERTAINTY INVOLVED WHEN ATTEMPTING TO DETERMINE THE LOCATION AND WIDTH OF A ROADWAY RIGHT OF WAY. THE EXTENT OF COAKLEY ROAD, BORTHWICK AVENUE AND U.S. ROUTE 1 BYPASS, AS DEPICTED HEREON, ARE BASED ON RESEARCH CONDUCTED AT THE ROCKINGHAM COUNTY REGISTRY OF DEEDS, NEW HAMPSHIRE STATE DEPARTMENT OF TRANSPORTATION AND THE PORTSMOUTH CITY HALL.
14. ALL UNDERGROUND UTILITIES (ELECTRIC, GAS, TEL. WATER, SEWER DRAIN SERVICES) ARE SHOWN IN SCHEMATIC FASHION, THEIR LOCATIONS ARE NOT PRECISE OR NECESSARILY ACCURATE. NO WORK WHATSOEVER SHALL BE DONE UNLESS THE PLANS INDICATE THE SAME. DESIGNERS CONSULT WITH THE PROPER AUTHORITIES CONCERNED WITH THE SUBJECT SERVICE LOCATIONS FOR INFORMATION REGARDING SUCH. CALL DIG-SAFE AT 1-888-DIG-SAFE.
15. THE PARCELS ARE SUBJECT TO, AND/OR IN BENEFIT OF THE FOLLOWING EASEMENTS, RESTRICTIONS, RIGHTS OF RECORD, ETC.:
TAX MAP 234, LOT 6
 - A. TEN (10') FOOT WIDE SEWER EASEMENT FOR THE BENEFIT OF MEADOWBROOK PARK PER R.C.R.D. BOOK 1284, PAGE 3 AND R.C.R.D. BOOK 2844, PAGE 2503.
 - B. ELECTRIC TRANSMISSION EASEMENT FOR THE BENEFIT OF THE NEW HAMPSHIRE GAS & ELECTRIC COMPANY PER R.C.R.D. BOOK 862, PAGE 425. APPEARS TO NOT PERTAIN.
 - C. TWENTY (20') FOOT WIDE SEWER EASEMENT FOR THE BENEFIT OF THE CITY OF PORTSMOUTH PER R.C.R.D. BOOK 984, PAGE 379. APPEARS TO NOT PERTAIN.
 - D. RIGHTS AND EASEMENTS FOR THE BENEFIT OF THE NEW HAMPSHIRE ELECTRIC COMPANY AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY PER R.C.R.D. BOOK 1315, PAGE 306. MAY AFFECT THE PROPERTY BUT CAN NOT BE PLOTTED.TAX MAP 234, LOT 7-6
 - A. ELECTRIC EASEMENT FOR THE BENEFIT OF ROCKINGHAM COUNTY LIGHT AND POWER COMPANY OF PORTSMOUTH PER R.C.R.D. BOOK 669, PAGE 341. APPEARS TO NOT PERTAIN.
 - F. FORTY (40') FOOT WIDE WATER SUPPLY EASEMENT FOR THE BENEFIT OF THE UNITED STATES OF AMERICA PER R.C.R.D. BOOK 1311, PAGE 322 AND R.C.R.D. BOOK 1387, PAGE 265.
 - G. DRAINAGE EASEMENT FOR THE BENEFIT OF THE UNITED STATES OF AMERICA PER R.C.R.D. BOOK 1475, PAGE 223 AND R.C.R.D. BOOK 1533, PAGE 216.
 - H. WATER AND SEWER EASEMENTS FOR THE BENEFIT OF HAROLD D. JORDAN AND MARIE E. JORDAN PER R.C.R.D. BOOK 1314, PAGE 221.
 - I. DRAINAGE EASEMENT AND RIGHTS AND CONDITIONS PER R.C.R.D. BOOK 2556, PAGE 777.
 - J. TWELVE (12') FOOT WIDE ELECTRIC EASEMENT FOR THE BENEFIT OF PUBLIC SERVICE COMPANY OF NEW HAMPSHIRE AND NEW ENGLAND TELEPHONE AND TELEGRAPH COMPANY PER R.C.R.D. BOOK 2606, PAGE 1046.
 - K. HODGSON BROOK RIGHTS MAY EXIST.

REFERENCE PLANS:

1. "PLAN OF MEADOWBROOK PARK PORTSMOUTH, N.H. FOR MARGO CONSTRUCTION CO." DATED MARCH 1956 BY JOHN W. DURGIN R.C.R.D. PLAN D-8132.
2. "PLAN OF LAND PORTSMOUTH FOR RONALD C. COAKLEY" DATED MAY, 1973, REV. DATE MAY 11, 1973 BY JOHN W. DURGIN R.C.R.D. PLAN B-5376.
3. "SUBDIVISION OF LAND LOCATED IN PORTSMOUTH, N.H. PREPARED FOR HOSPITAL CORPORATION OF AMERICA" DATED MARCH 6, 1984, REV. DATE NOVEMBER 6, 1984 BY KIMBALL CHASE COMPANY, INC. R.C.R.D. PLAN D-13069.
4. "SUBDIVISION PLAN OF LAND FOR PORTSMOUTH PARK TRUST BORTHWICK AVE. EXT./COAKLEY RD. COUNTY OF ROCKINGHAM PORTSMOUTH, N.H." DATED MARCH 27, 1985, REV. DATE MAY 28, 1985 BY RICHARD P. MILLETTE AND ASSOCIATES R.C.R.D. PLAN D-13747.
5. "LAYOUT AND PLANTING SUSSE CHALET HOTEL PORTSMOUTH, NEW HAMPSHIRE" DATED JUNE 20, 1985 BY KIMBALL CHASE COMPANY, INC. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT.
6. "PLAT OF LAND U.S. ROUTE 1 BY-PASS PORTSMOUTH, NEW HAMPSHIRE FOR GRIFFIN FAMILY CORP." DATED JANUARY 20, 1992 BY DURGIN, VERRA AND ASSOCIATES, INC. NOT RECORDED.
7. "LOT LINE REVISION PLAN MAP R-34, LOTS 6 & 7-6 LOCATED ON BORTHWICK AVE., COAKLEY ROAD AND U.S. ROUTE 1 BYPASS IN PORTSMOUTH, NEW HAMPSHIRE COUNTY OF ROCKINGHAM CLIENT: COULET PROPERTIES PARTNERSHIP II," DATED OCTOBER 20, 1993, REV. DATE DECEMBER 30, 1993 BY KIMBALL CHASE R.C.R.D. PLAN D-22686.
8. "PLAT OF LAND FOR PORT MOTOR INN IN PORTSMOUTH, N.H." DATED OCTOBER 1995 BY PARKER SURVEY ASSOC., INC. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT.
9. "NON-RESIDENTIAL SITE PLAN PREPARED FOR: GPP PROPERTIES 1995-1, L.L.C. MAP R-34; LOT 6; 100 COAKLEY ROAD, PORTSMOUTH, NEW HAMPSHIRE" DATED JULY 18, 2000, REV. DATE NOVEMBER 29, 2000 BY KEACH-NORDSTROM ASSOCIATES, INC. ON FILE AT THE CITY OF PORTSMOUTH PLANNING DEPARTMENT.
10. "PLAN OF LAND FOR SEACOST DEVELOPMENT GROUP, L.L.C. US ROUTE 1 BYPASS / COAKLEY ROAD COUNTY OF ROCKINGHAM PORTSMOUTH, NH" DATED JUNE 7, 2002 BY MILLETTE, SPRAGUE & COLWELL, INC. R.C.R.D. PLAN D-30041.
11. "ALTA/ASCM LAND TITLE SURVEY TAX MAP 234 LOT 51 PROPERTY OF THE MEADOWBROOK INN CORPORATION PORTSMOUTH TRAFFIC CIRCLE, US ROUTE 1, US 195 & COAKLEY ROAD COUNTY OF ROCKINGHAM PORTSMOUTH, NEW HAMPSHIRE" DATED DECEMBER 2, 2008 BY MSC CIVIL ENGINEERS & LAND SURVEYORS, INC. R.C.R.D. PLAN D-36690.
12. "LOT LINE REVISION PLAN LAND OF SEARAY REALTY, LLC TAX MAP 234 LOTS 2, 3 & 7-7 U.S. ROUTE 1 BY-PASS & BARBERRY LANE PORTSMOUTH, NEW HAMPSHIRE" DATED MARCH 12, 2014 BY DOUCET SURVEY, INC. R.C.R.D. PLAN D-38435.
13. "PLANS OF PROPOSED RECONSTRUCTION OF RTE. US 1 BYPASS AT INTERSECTIONS WITH GREENLEAF AVE. AND WITH COAKLEY RD. - COTTAGE ST. N.H. PROJECT NO. P-7564 N.H. PLAN NO. 23133" APPROVAL DATE NOVEMBER 28, 1965 BY STATE OF NEW HAMPSHIRE DEPARTMENT OF PUBLIC WORKS AND HIGHWAYS. ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.
14. "CONSTRUCTION PLANS FEDERAL AID PROJECT FEDERAL AIR PROJECT NO. X-A003(589) NH PROJECT NO. 27690 US 1 BYPASS BRIDGE REHABILITATION, US 1 BYPASS OVER HODGSON BROOK BR. NO. 192/106" APPROVAL DATE AUGUST 29, 2018 BY STATE OF NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION. ON FILE AT THE NEW HAMPSHIRE DEPARTMENT OF TRANSPORTATION.

EXISTING LOT LINE
 APPROXIMATE ABUTTERS LOT LINE
 100' EXISTING EASEMENT LINE
 MAJOR CONTOUR LINE
 MINOR CONTOUR LINE
 STONE WALL
 RETAINING WALL
 CHAIN LINK FENCE
 STOCKADE FENCE
 PICKET FENCE
 HANDRAIL
 GUARDRAIL
 OVERHEAD WIRE
 DRAIN LINE
 GAS LINE
 SEWER LINE
 TREE LINE
 SHRUB LINE
 EDGE OF DELINEATED WETLAND
 WETLAND AREA
 CONCRETE
 RIP RAP
 LANDSCAPED AREA
 CRUSHED STONE
 PILE

- | | |
|---|-------------------------------------|
|  | SIGN |
|  | BOLLARD |
|  | BUILDING COLUMN/SUPPORT |
|  | MAST ARM |
|  | TRAFFIC SIGNAL |
|  | ROCK/BOULDER |
|  | MAIL BOX |
|  | ACCESSIBLE PARKING SPACE |
|  | CONIFEROUS TREE 10" DIA. OR GREATER |
|  | CONIFEROUS TREE LESS THAN 10" DIA. |
|  | DECIDUOUS TREE 10" DIA. OR GREATER |
|  | DECIDUOUS TREE LESS THAN 10" DIA. |
|  | CONIFEROUS SHRUB |
|  | DECIDUOUS SHRUB |
|  | BB BITUMINOUS BERM |
|  | BH BUILDING HEIGHT ELEVATION |
|  | BND. FND. BOUND FOUND |
|  | COND. CONCRETE |
|  | COND CONDUIT |
|  | D.H. DRILL HOLE |
|  | DWD DETECTABLE WARNING DEVICE |
|  | DYL DOUBLE YELLOW LINE |
|  | EM ELECTRIC METER |
|  | EP EDGE OF PAVEMENT |
|  | ES ELECTRIC SWITCH |
|  | FF FINISHED FLOOR ELEVATION |
|  | GRAN. GRANITE |
|  | HP HANDICAP PARKING SIGN |
|  | HDPE HIGH DENSITY POLYETHYLENE PIPE |
|  | HDWL HEADWALL |
|  | I.P.F. IRON PIPE FOUND |
|  | NHBB NEW HAMPSHIRE HIGHWAY BOUND |
|  | PVC POLYVINYL CHLORIDE PIPE |
|  | RCP REINFORCED CONCRETE PIPE |
|  | RET. WALL RETAINING WALL |
|  | SBBS SLOPED BITUMINOUS BERM |
|  | SGCS SLOPED GRANITE CURB |
|  | SWL SINGLE WHITE LINE |
|  | SYL SINGLE YELLOW LINE |
|  | TH THRESHOLD ELEVATION |
|  | Typ. TYPICAL |
|  | VCC VERTICAL CONCRETE CURB |
|  | VCP VITREOUS CLAY PIPE |
|  | VGC VERTICAL GRANITE CURB |
|  | (X) INVERT I.D. CONNECTION UNKNOWN |

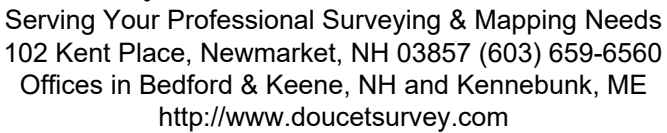
UTILITY LINES PER REFERENCE SEE NOTE 11

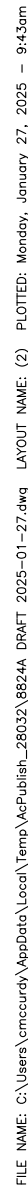
- | | |
|----------------|---------------|
| _____ XD _____ | DRAIN LINE |
| _____ XE _____ | ELECTRIC LINE |
| _____ XG _____ | GAS LINE |
| _____ XS _____ | SEWER LINE |
| _____ XW _____ | WATER LINE |

BORTHWICK AVENUE
COAKLEY ROAD
U.S. ROUTE 1 BYPASS
PORTSMOUTH, NEW HAMPSHIRE

		THIS DRAWING IS NOT FOR RECORDING	
NO.	DATE	DESCRIPTION	BY

DRAWN BY: C.P.M.	DATE: JANUARY 2025
CHECKED BY: P.J.S.	DRAWING NO. 8824A
JOB NO. 8824	SHEET 1 OF 4






SEWER STRUCTURES
SMH 541 (3476)
RIM ELEV.=22.6'
SHELF ELEV.=15.5'
(5342) 8" PVC INV.=16.5'
(540) 8" VCP INV.=15.3'
(5341) 8" PVC INV.=15.2'
SMH 5341 (3637)
RIM ELEV.=21.3'
SHELF ELEV.=15.3'
(541) 8" PVC INV.=14.7'
(530) 12" PVC INV.=14.5'

DRAFT
1/27/25

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.

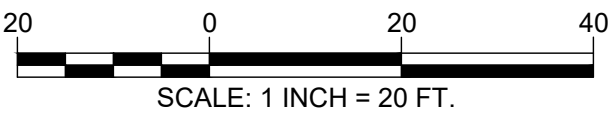
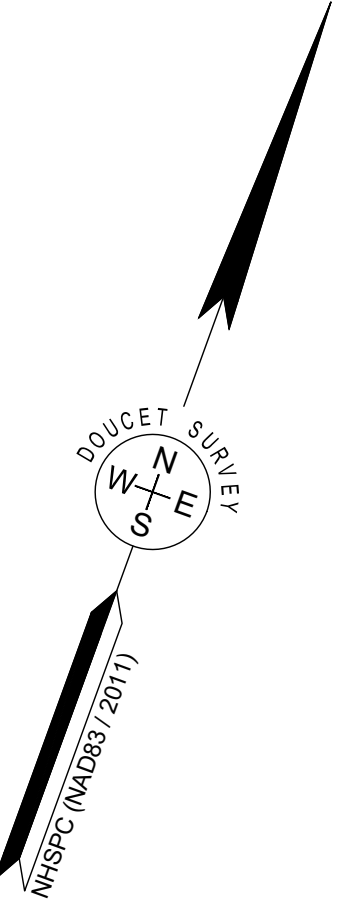
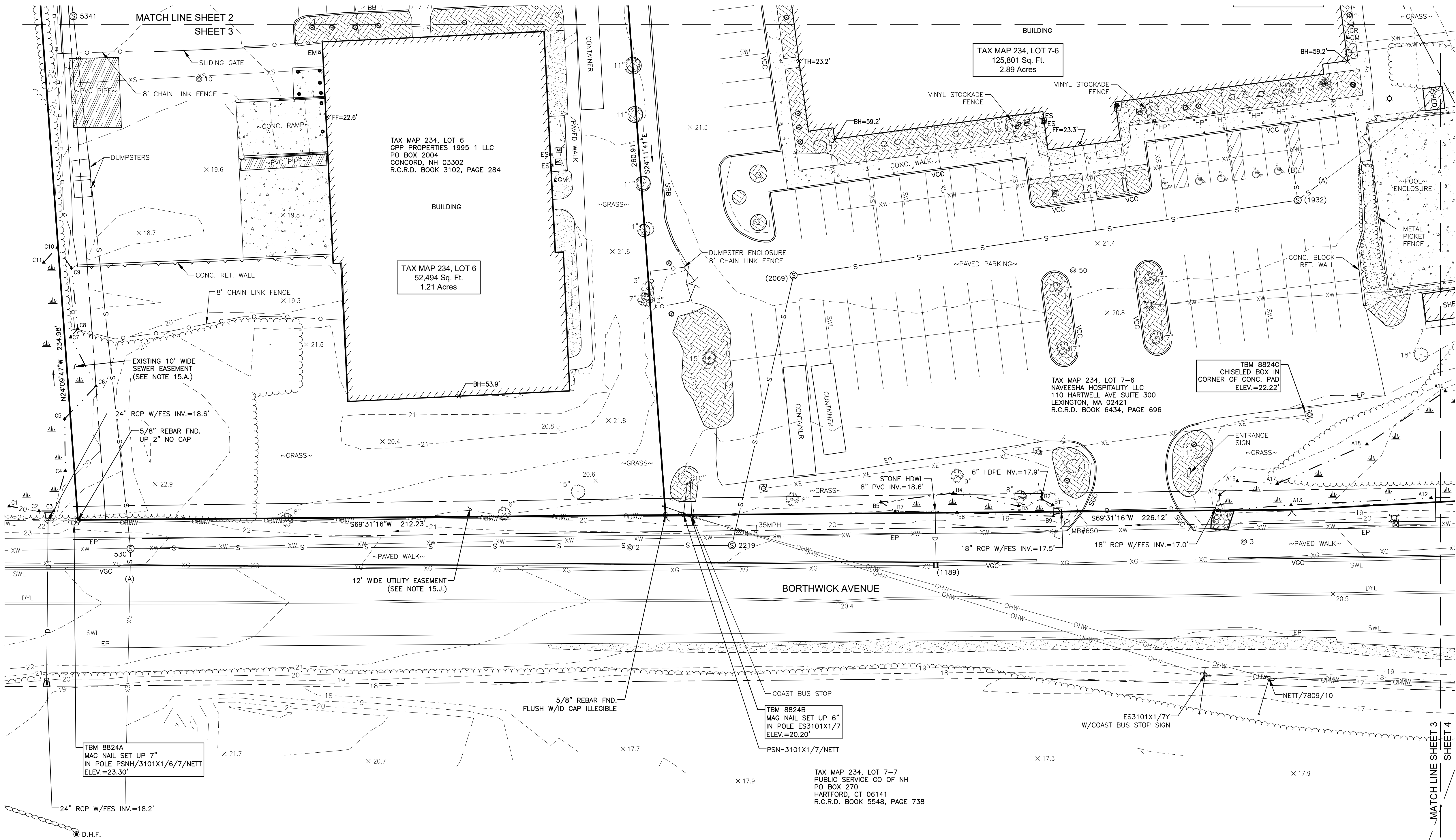
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NO.	DATE	DESCRIPTION	BY



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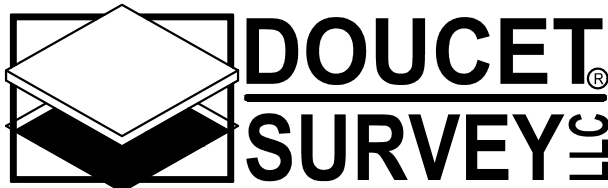
FILE NAME: C:\Users\Community\Documents\Projects\Portsmouth\2025-01-27.dwg PLOTTER: Bentley, January 27, 2025 1:15pm



EXISTING CONDITIONS PLAN
FOR
CITY OF PORTSMOUTH
DEPARTMENT OF PUBLIC WORKS
OF
TAX MAP 234, LOTS 6 & 7-6
BORTHWICK AVENUE
COAKLEY ROAD
U.S. ROUTE 1 BYPASS
PORTSMOUTH, NEW HAMPSHIRE

THIS DRAWING IS NOT FOR RECORDING			
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	C.P.M.	DATE:	JANUARY 2025
CHECKED BY:	P.J.S.	DRAWING NO.	8824A
JOB NO.	8824	SHEET	3 OF 4



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<http://www.doucetsurvey.com>

DRAINAGE STRUCTURES

CB (1189)
RIM ELEV.=20.1'
WATER ELEV.=18.7'
SUMP ELEV.=16.7'
(OFL) 8" PVC INV.=18.7'

SEWER STRUCTURES

SMH 530 (1019) RIM ELEV.=23.2' SHELF ELEV.=14.8' (5341) 12" PVC INV.=13.9' (2219) 12" PVC INV.=13.9' (A) 12" PVC INV.=13.8'	SMH (2069) RIM ELEV.=21.1' SHELF ELEV.=16.5' (1932) 6" PVC INV.=16.1' (2219) 8" PVC INV.=15.9' (A) 12" PVC INV.=13.8'
SMH (1932) RIM ELEV.=21.2' SHELF ELEV.=18.4' (A) 4" PVC INV.=18.1' (B) 4" PVC INV.=18.1' (2069) 6" PVC INV.=18.0'	SMH 2219 (1178) RIM ELEV.=21.0' SHELF ELEV.=14.9' (2069) 8" PVC INV.=14.6' (530) 12" PVC INV.=14.3'

PURSUANT TO RSA 676:18, III:

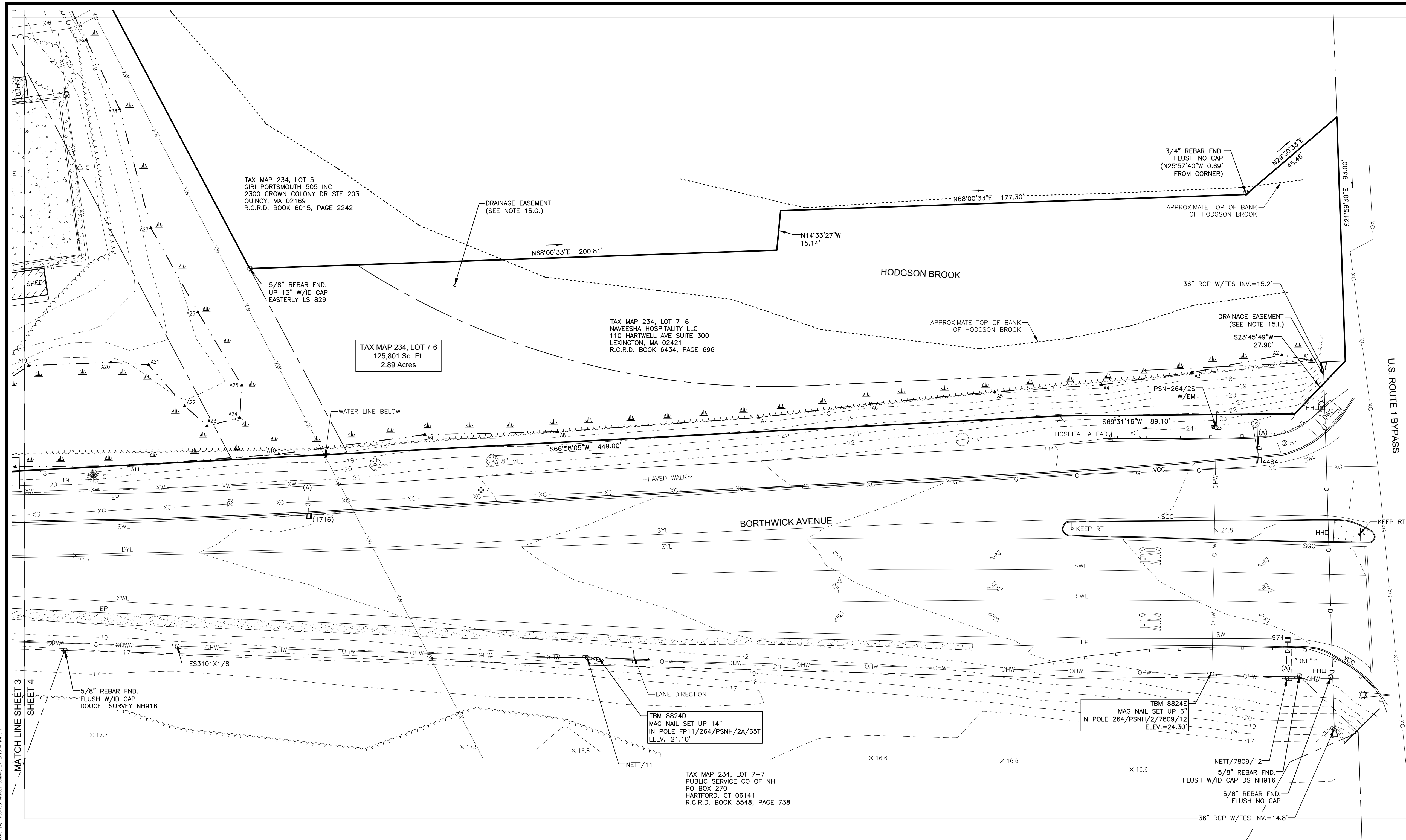
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.

I CERTIFY THAT THIS SURVEY AND PLAN WERE PREPARED BY ME OR BY THOSE UNDER MY DIRECT SUPERVISION AND FALLS UNDER THE URBAN SURVEY CLASSIFICATION OF THE NH CODE OF ADMINISTRATIVE RULES OF THE BOARD OF LICENSURE FOR LAND SURVEYORS. I CERTIFY THAT THIS SURVEY WAS MADE ON THE GROUND AND IS CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF. RANDOM TRAVERSE SURVEY BY TOTAL STATION, WITH A PRECISION GREATER THAN 1:15,000.

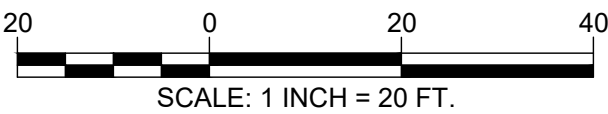


_____. L.L.S. #1018
_____. DATE

THE CERTIFICATIONS SHOWN HEREON ARE INTENDED TO MEET REGISTRY OF DEED REQUIREMENTS AND ARE NOT A CERTIFICATION TO TITLE OR OWNERSHIP OF PROPERTY SHOWN. OWNERS OF ADJOINING PROPERTIES ARE ACCORDING TO CURRENT TOWN ASSESSORS RECORDS.



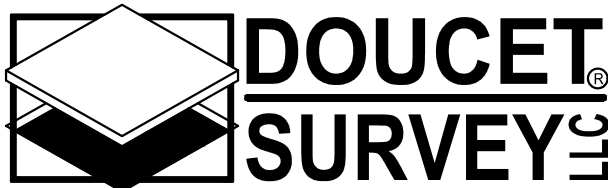
DRAINAGE STRUCTURES	
CB 974 (2410)	
RIM ELEV.=23.9'	
SUMP ELEV.=18.9'	
(A) 12" PVC INV.=18.9'	
CB (1716)	
RIM ELEV.=20.9'	
WATER ELEV.=19.1'	
SUMP ELEV.=17.5'	
(A) 8" PVC INV.=19.1'	
CB 4484 (2265)	
RIM ELEV.=24.3'	
SUMP ELEV.=19.8'	
(A)* 12" PVC INV.=19.6'	
*PIPE RECESSED	



EXISTING CONDITIONS PLAN
FOR
CITY OF PORTSMOUTH
DEPARTMENT OF PUBLIC WORKS
OF
TAX MAP 234, LOTS 6 & 7-6
BORTHWICK AVENUE
COAKLEY ROAD
U.S. ROUTE 1 BYPASS
PORTSMOUTH, NEW HAMPSHIRE

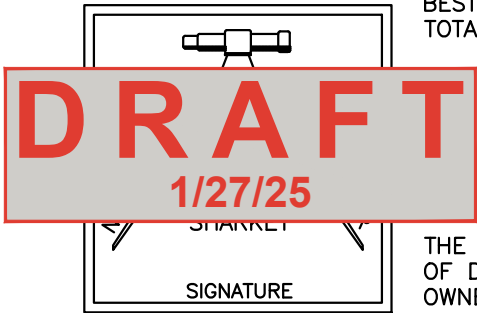
NO.	DATE	DESCRIPTION	BY

DRAWN BY:	C.P.M.	DATE:	JANUARY 2025
CHECKED BY:	P.J.S.	DRAWING NO.	8824A
JOB NO.	8824	SHEET	4 OF 4



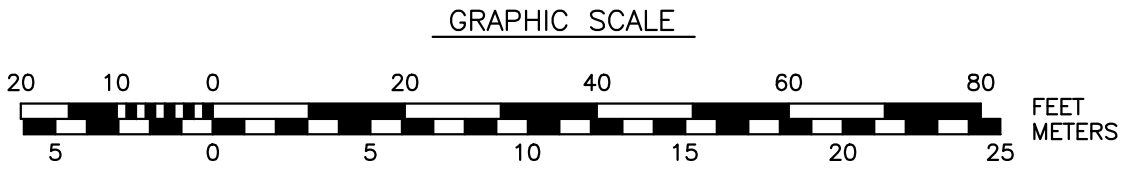
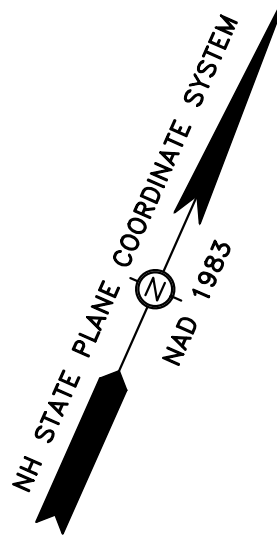
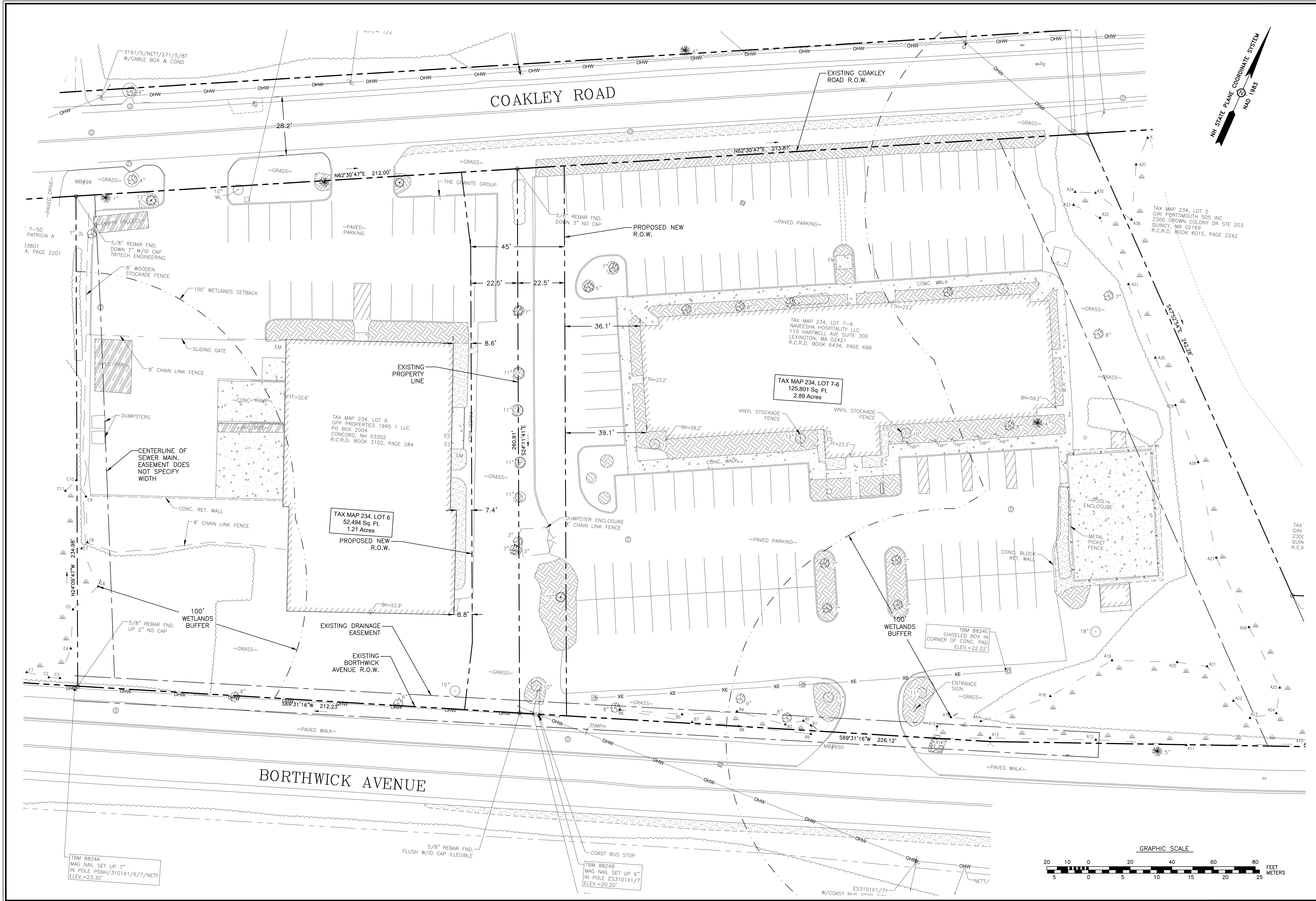
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PURSUANT TO RSA 676:18, III:
I CERTIFY THAT THIS SURVEY PLAT IS NOT A SUBDIVISION PURSUANT TO THIS TITLE AND THAT THE LINES OF STREETS AND WAYS SHOWN ARE THOSE OF PUBLIC OR PRIVATE STREETS OR WAYS ALREADY ESTABLISHED AND THAT NO NEW WAYS ARE SHOWN.
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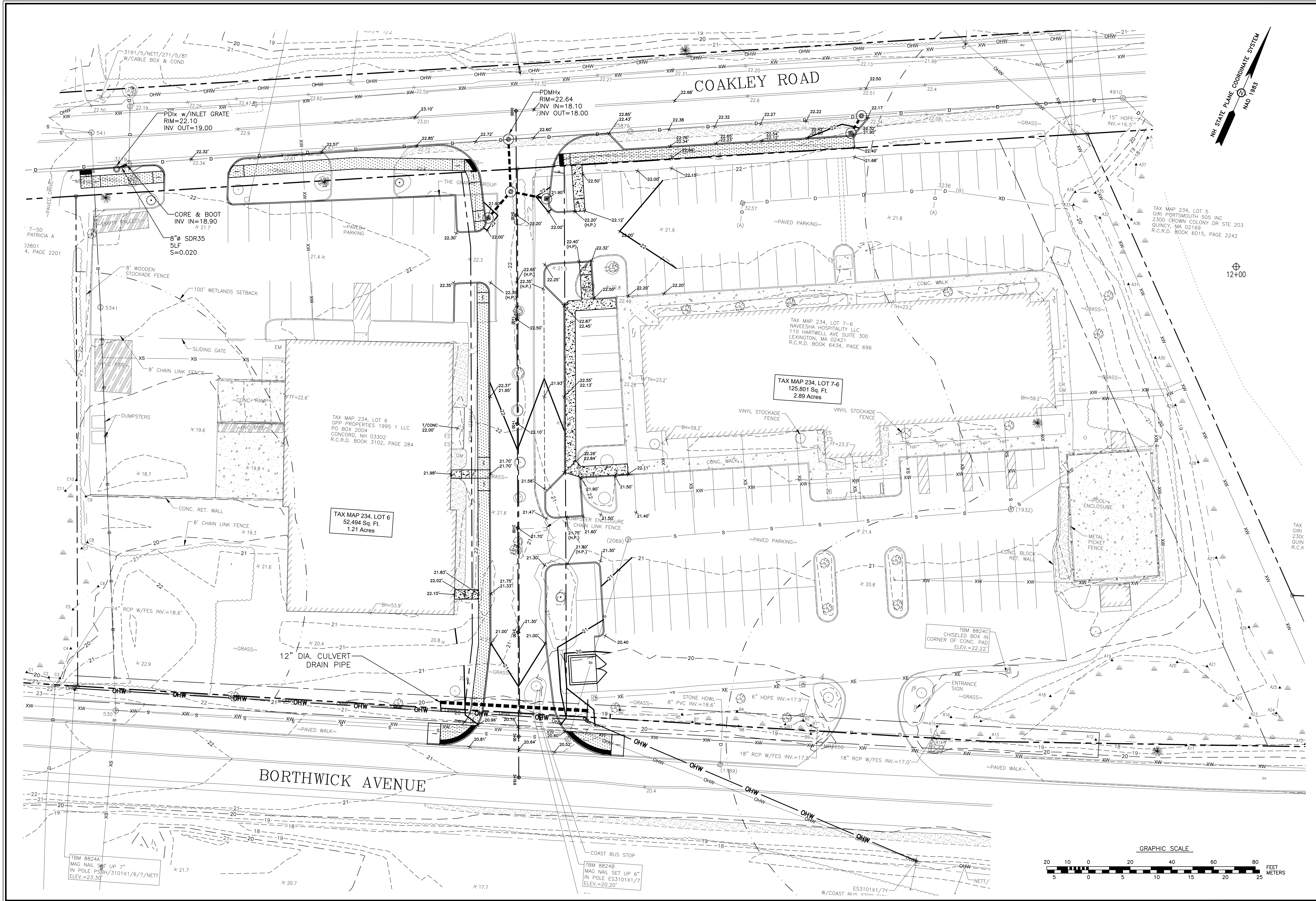
____ L.L.S. #1018
____ DATE

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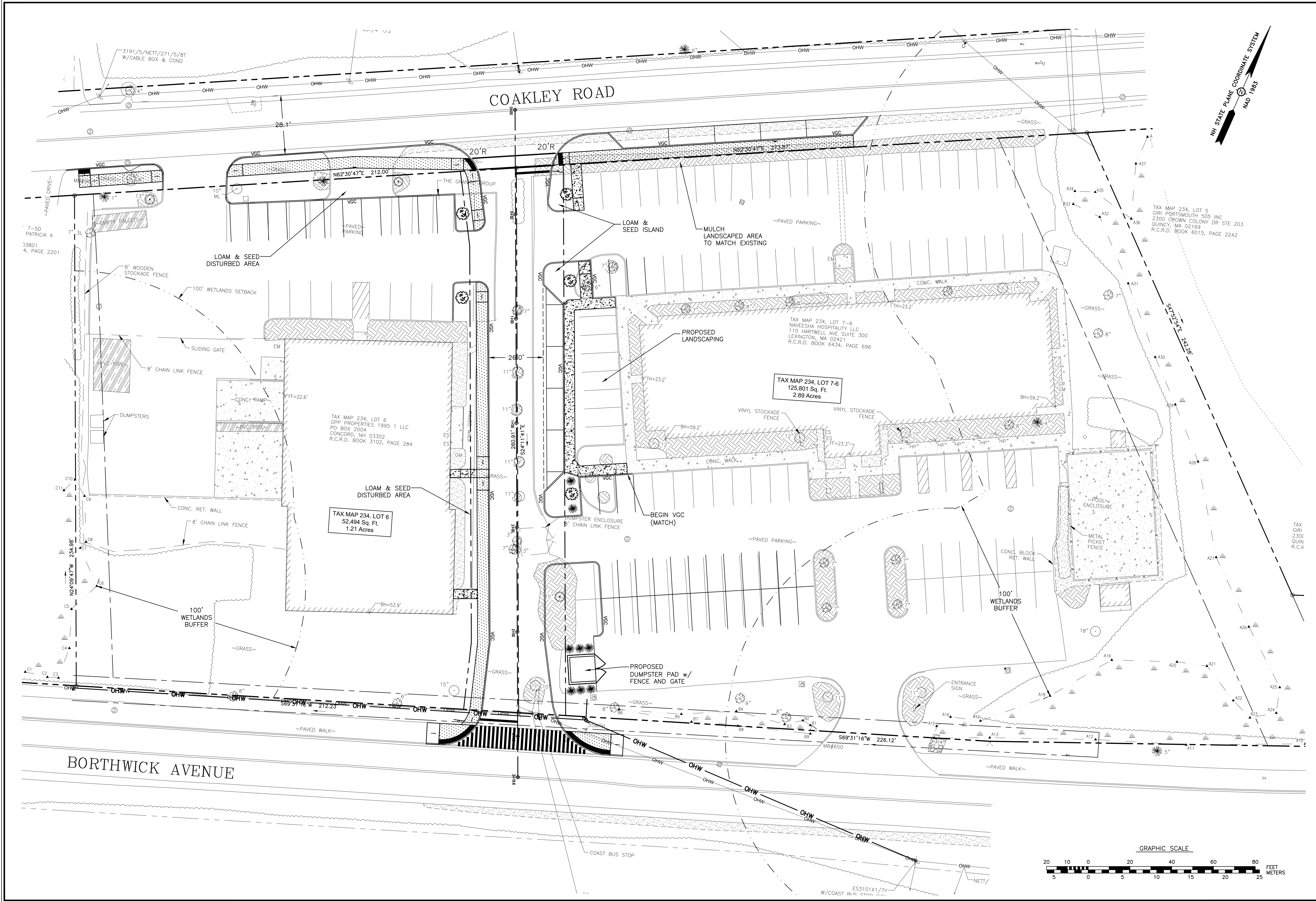


PROJECT: BORTHWICK - COAKLEY CONNECTOR ROAD		DATE: JANUARY 2025	
TITLE: PROPOSED EASEMENT PLAN		SCALE: AS SHOWN	
SHEET: C-001		PROJ. NO.: 7251	
		APVD BY: MRB	
		APPROVED: MRB	
		DATE: 02/21/25	
		REVISIONS: 30% CONCEPT PLAN	
		NO. A	
		NO. B	
		NO. 60% DRAWING REVIEW	
		NO. MRB	
		DATE: 02/05/25	
		DATE: 02/21/25	

DEPARTMENT OF
PUBLIC WORKS
CITY OF PORTSMOUTH, NH
680 PEVERLY HILL ROAD
603-427-1530



PROJECT:	BORTHWICK – COAKLEY CONNECTOR ROAD			DATE: JANUARY 2025 SCALE: AS SHOWN PROJ. NO.: 7251 APVD BY: MRB	 <div>DEPARTMENT OF PUBLIC WORKS CITY OF PORTSMOUTH, NH 680 FEVERLY HILL ROAD 603-427-1530</div>				
	TITLE: GRADING, DRAINAGE and UTILITY PLAN								
SHEET:	C-301								



PROJECT: BORTHWICK - COAKLEY CONNECTOR ROAD		DATE: JANUARY 2025	
TITLE: LANDSCAPING PLAN		SCALE: AS SHOWN	
SHEET: C-501		PROJ. NO.: 7251	
		APVD BY: MRB	
		APPROVED: MRB	
		REVISIONS: 60% DRAWING REVIEW	
		NO. 30% CONCEPT PLAN	
		DATE: 02/21/25	
		DATE: 02/05/25	
		DATE: 02/05/25	

DEPARTMENT OF
PUBLIC WORKS
CITY OF PORTSMOUTH, NH
680 FEVERLY HILL ROAD
603-427-1530



PROJECT NAME AND LOCATION:

BARTLETT STREET RECONSTRUCTION
PORTSMOUTH, NEW HAMPSHIRE

DESCRIPTION:

THE PROJECT CONSISTS OF:

INSTALLATION OF NEW UNDERGROUND UTILITIES (WATER, SEWER AND DRAINAGE) ON:

BARTLETT STREET (MORNING ST. TO DENNETT ST.)
THORNTON STREET (WOODBURY AVE. TO BARTLETT ST.)
MORNING STREET (WOODBURY AVE. TO BARTLETT ST.)

STREETSCAPING (SIDEWALKS, CURBING, LANDSCAPING AND ROADWAY) RECONSTRUCTION AT THE LOCATIONS LISTED ABOVE, ADDITIONALLY WOODBURY AVE (MORNING ST. TO BARTLETT ST.).

CONSTRUCTION SEQUENCE:

1. INSTALL ALL EROSION CONTROL MEASURES.
2. INSTALLATION OF SEWER, WATER AND DRAINAGE SYSTEMS.
3. RECLAIM EXISTING ASPHALT PAVEMENT.
4. GRADE AND COMPACT BASE MATERIALS.
5. PLACE BASE COURSE OF ROADWAY PAVEMENT.
6. RESET CURBING AND CONSTRUCT NEW SIDEWALKS.
7. FINISH GRADE BEHIND SIDEWALKS.
8. PLACE SEED AND MULCH ON LOAMED AREAS.
9. PLACE WEARING COURSE OF PAVEMENT.
10. INSTALL ALL ROADWAY STRIPING AND SIGNS.
11. WHEN CONSTRUCTION ACTIVITY IS COMPLETE AND SITE IS STABILIZED, REMOVE EROSION CONTROL MEASURES.

EROSION AND SEDIMENT CONTROLS AND

STABILIZATION PRACTICES:

THE EROSION CONTROL PROCEDURES SHALL CONFORM TO SECTION 645 OF THE "STANDARD SPECIFICATION FOR ROAD AND BRIDGE CONSTRUCTION" OF THE NHDOT, AND "STORM WATER MANAGEMENT AND EROSION AND SEDIMENT CONTROL HANDBOOK FOR URBAN AND DEVELOPING AREAS IN NEW HAMPSHIRE".

DURING CONSTRUCTION AND THEREAFTER, EROSION CONTROL MEASURES ARE TO BE IMPLEMENTED AS NOTED. THE SMALLEST PRACTICAL AREA OF LAND SHOULD BE EXPOSED AT ANY ONE TIME DURING CONSTRUCTION, BUT IN NO CASE SHALL EXCEED 5 ACRES AT ANY ONE TIME BEFORE DISTURBED AREAS ARE STABILIZED.

AN AREA SHALL BE CONSIDERED STABLE IF ONE OF THE FOLLOWING HAS OCCURRED:

- BASE COURSE GRAVELS HAVE BEEN INSTALLED IN AREAS TO BE PAVED;
- A MINIMUM OF 85% VEGETATED GROWTH HAS BEEN ESTABLISHED;
- A MINIMUM OF 3" OF NON-EROSIVE MATERIAL SUCH AS STONE OR RIPRAP HAS BEEN INSTALLED; OR
- EROSION CONTROL BLANKETS HAVE BEEN PROPERLY INSTALLED.

ANY DISTURBED AREAS WHICH ARE TO BE LEFT TEMPORARILY, AND WHICH WILL BE REGRADED LATER DURING CONSTRUCTION SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

DUST CONTROL: IF TEMPORARY STABILIZATION PRACTICES, SUCH AS TEMPORARY VEGETATION AND MULCHING, DO NOT ADEQUATELY REDUCE DUST GENERATION, APPLICATION OF WATER OR CALCIUM CHLORIDE SHALL BE APPLIED IN ACCORDANCE WITH BEST MANAGEMENT PRACTICES.

ALL EROSION CONTROLS SHALL BE INSPECTED WEEKLY DURING THE LIFE OF THE PROJECT AND AFTER EACH STORM OF 0.5" OR GREATER. ALL DAMAGED SILT FENCES SHALL BE REPAIRED. SEDIMENT DEPOSITS SHALL PERIODICALLY BE REMOVED AND DISPOSED IN A SECURED LOCATION.

AVOID THE USE OF FUTURE OPEN SPACES (LOAM AND SEED AREAS) WHEREVER POSSIBLE DURING CONSTRUCTION. CONSTRUCTION TRAFFIC SHALL USE THE ROADBEDS OF FUTURE ACCESS DRIVES AND PARKING AREAS.

TOPSOIL REQUIRED FOR THE ESTABLISHMENT OF VEGETATION SHALL BE STOCKPILED IN AMOUNTS NECESSARY TO COMPLETE FINISHED GRADING OF ALL EXPOSED AREAS. CONSTRUCT SILT FENCE AROUND TOPSOIL STOCKPILE.

ALL FILLS SHALL BE PLACED AND COMPACTED TO REDUCE EROSION, SLIPPAGE, SETTLEMENT, SUBSIDENCE OR OTHER RELATED PROBLEMS.

DISTURBED AREAS SHALL BE SEEDED WITHIN 72 HOURS FOLLOWING FINISHED GRADING.

AT NO TIME SHALL ANY DISTURBED AREA REMAIN UNSTABILIZED FOR LONGER THAN 72 HOURS. ALL AREAS WHERE CONSTRUCTION IS NOT COMPLETE WITHIN THIRTY DAYS OF THE INITIAL DISTURBANCE SHALL BE MACHINE HAY MULCHED AND SEEDED WITH RYE GRASS TO PREVENT EROSION.

INSTALLATION PROCEDURES OF EROSION AND SEDIMENT

CONTROLS:

A. VEGETATIVE PRACTICE

FOR PERMANENT MEASURES AND PLANTINGS FROM EARLY SPRING TO SEPTEMBER 30:

LIMESTONE SHALL BE THOROUGHLY INCORPORATED INTO THE LOAM LAYER AT A RATE OF 2 TONS PER ACRE.

FERTILIZER SHALL BE SPREAD ON THE TOP LAYER OF LOAM AND WORKED INTO THE SURFACE. FERTILIZER APPLICATION RATE SHALL BE 500 POUNDS PER ACRE OF 10-20-20 FERTILIZER.

SEED SHALL BE SOWN AT THE RATES SHOWN IN THE TABLE BELOW. IMMEDIATELY BEFORE SEEDING, THE SOIL SHALL BE LIGHTLY RAKED. ONE HALF THE SEED SHALL BE SOWN IN ONE DIRECTION AND THE OTHER HALF AT RIGHT ANGLES TO THE ORIGINAL DIRECTION. IT SHALL BE LIGHTLY RAKED INTO THE SOIL TO A DEPTH NOT OVER 1/4 INCH AND ROLLED WITH A HAND ROLLER WEIGHING NOT OVER 100 POUNDS PER LINEAR FOOT OF WIDTH. HAY MULCH SHALL BE APPLIED IMMEDIATELY AFTER SEEDING AT A RATE OF 1.5 TO 2 TONS PER ACRE, AND SHALL BE HELD IN PLACE USING APPROPRIATE TECHNIQUES FROM THE EROSION AND SEDIMENT CONTROL HANDBOOK.

THE SURFACE SHALL BE WATERED AND KEPT MOIST WITH A FINE SPRAY AS REQUIRED, WITHOUT WASHING AWAY THE SOIL, UNTIL THE GRASS IS WELL ESTABLISHED. ANY AREAS WHICH ARE NOT SATISFACTORILY COVERED SHALL BE RESEED, AND ALL NOXIOUS WEEDS REMOVED.

A GRASS SEED MIXTURE CONTAINING THE FOLLOWING SEED REQUIREMENTS SHALL BE:

GENERAL COVER SEEDING RATE

CREeping RED FESCUE	100 LBS/ACRE
KENTUCKY BLUEGRASS	100 LBS/ACRE

SLOPE SEED (ALL SLOPES GREATER THAN OR EQUAL TO 3:1)

CREeping RED FESCUE	20 LBS/ACRE
TALL FESCUE	20 LBS/ACRE
BIRDSFOOT TREFOIL	2 LBS/ACRE

IN NO CASE SHALL THE WEED CONTENT EXCEED ONE PERCENT BY WEIGHT. ALL SEED SHALL COMPLY WITH APPLICABLE STATE AND FEDERAL SEED LAWS.

FOR TEMPORARY PROTECTION OF DISTURBED AREAS:

MULCHING AND SEEDING SHALL BE APPLIED AT THE FOLLOWING

RATES:

PERENNIAL RYE:	0.7 LBS/1,000 S.F.
MULCH:	1.5 TONS/ACRE

B. MULCHING

IN ORDER TO BE EFFECTIVE, MULCHING MUST BE IN PLACE PRIOR TO MAJOR STORM EVENTS. THERE ARE TWO TYPES OF STANDARDS:

APPLY MULCH PRIOR TO ANY STORM EVENT:

THIS IS APPLICABLE WHEN WORKING WITHIN 100 FEET OF WETLANDS. IT WILL BE NECESSARY TO CLOSELY MONITOR WEATHER FORECASTS FOR ADEQUATE WARNING TO SIGNIFICANT STORMS.

REQUIRED MULCHING WITHIN SPECIFIED TIME PERIOD:

THE TIME PERIOD CAN RANGE FROM 14 TO 21 DAYS OF INACTIVITY IN AN AREA, THE LENGTH OF TIME VARYING WITH SITE CONDITIONS. JUDGEMENT SHALL BE USED TO EVALUATE THE INTERACTION OF SITE CONDITIONS AND THE POTENTIAL FOR IMPACT ON ADJACENT AREAS TO CHOOSE AN APPROPRIATE TIME RESTRICTION.

WHEN MULCH IS TO BE APPLIED TO PROVIDE PROTECTION OVER WINTER MONTHS, IT SHALL BE AT A RATE OF 6,000 POUNDS OF HAY OR STRAW PER ACRE. A TACKIFIER SHALL BE ADDED TO THE MULCH.

C. WINTER NOTES

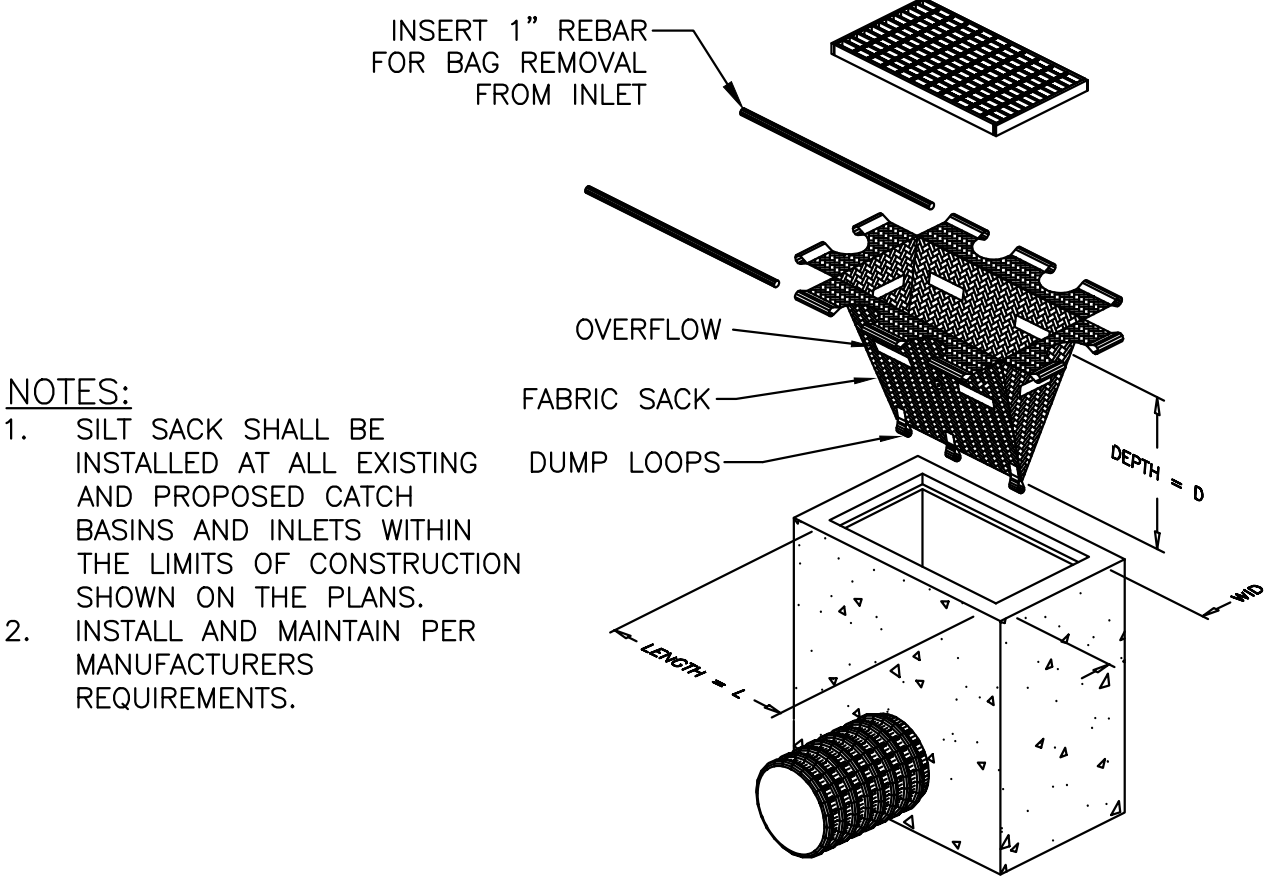
ALL PROPOSED VEGETATED AREAS WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED BY SEEDING AND INSTALLING EROSION CONTROL BLANKETS ON SLOPES GREATER THAN 3:1, AND SEEDING AND PLACING 3 TO 4 TONS OF MULCH PER ACRE, SECURED WITH ANCHORED NETTING, ELSEWHERE. THE INSTALLATION OF EROSION CONTROL BLANKETS OR MULCH AND NETTING SHALL NOT OCCUR OVER ACCUMULATED SNOW OR ON FROZEN GROUND AND SHALL BE COMPLETED IN ADVANCE OF THAW OR SPRING MELT EVENTS.

ALL DITCHES OR SWALES WHICH DO NOT EXHIBIT A MINIMUM OF 85% VEGETATIVE GROWTH BY OCTOBER 15TH, OR WHICH ARE DISTURBED AFTER OCTOBER 15TH, SHALL BE STABILIZED TEMPORARILY WITH STONE OR EROSION CONTROL BLANKETS APPROPRIATE FOR THE DESIGN FLOW CONDITIONS.

AFTER NOVEMBER 15TH, INCOMPLETE ROAD OR PARKING SURFACES, WHERE WORK HAS STOPPED FOR THE WINTER SEASON, SHALL BE PROTECTED WITH A MINIMUM OF 3 INCHES OF CRUSHED GRAVEL PER NHDOT ITEM 304.3.

MAINTENANCE AND PROTECTION:

1. THE CONTRACTOR SHALL MAINTAIN ALL LOAM & SEED AREAS UNTIL FINAL ACCEPTANCE AT THE COMPLETION OF THE CONTRACT. MAINTENANCE SHALL INCLUDE WATERING, WEEDING, REMOVAL OF STONES AND OTHER FOREIGN OBJECTS OVER 1/2 INCHES IN DIAMETER WHICH MAY APPEAR AND THE FIRST TWO (2) CUTTINGS OF GRASS NO CLOSER THEN TEN (10) DAYS APART. THE FIRST CUTTING SHALL BE ACCOMPLISHED WHEN THE GRASS IS FROM 2 1/2 TO 3 INCHES HIGH. ALL BARE AND DEAD SPOTS WHICH BECOME APPARENT SHALL BE PROPERLY PREPARED, LIMED AND FERTILIZED, AND RESEED, BY THE CONTRACTOR AT HIS EXPENSE AS MANY TIMES AS NECESSARY TO SECURE GOOD GROWTH. THE ENTIRE AREA SHALL BE MAINTAINED, WATERED AND CUT UNTIL ACCEPTANCE OF THE LAWN BY THE OWNER'S REPRESENTATIVE.
2. THE CONTRACTOR SHALL TAKE WHATEVER MEASURES ARE NECESSARY TO PROTECT THE GRASS WHILE IT IS DEVELOPING.
3. TO BE ACCEPTABLE, SEEDED AREAS SHALL CONSIST OF A UNIFORM STAND OF AT LEAST 90 PERCENT ESTABLISHED PERMANENT GRASS SPECIES, WITH UNIFORM COUNT OF AT LEAST 100 PLANTS PER SQUARE FOOT.
4. SEEDED AREAS WILL BE FERTILIZED AND RESEED, AS NECESSARY TO INSURE VEGETATIVE ESTABLISHMENT.
5. THE SWALES WILL BE CHECKED WEEKLY AND REPAIRED WHEN NECESSARY UNTIL ADEQUATE VEGETATION IS ESTABLISHED.
6. THE SILT FENCE BARRIER SHALL BE CHECKED AFTER EACH RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
7. SILT FENCING SHALL BE REMOVED ONCE VEGETATION IS ESTABLISHED, AND DISTURBED AREAS RESULTING FROM SILT FENCE REMOVAL SHALL BE PERMANENTLY SEEDED.

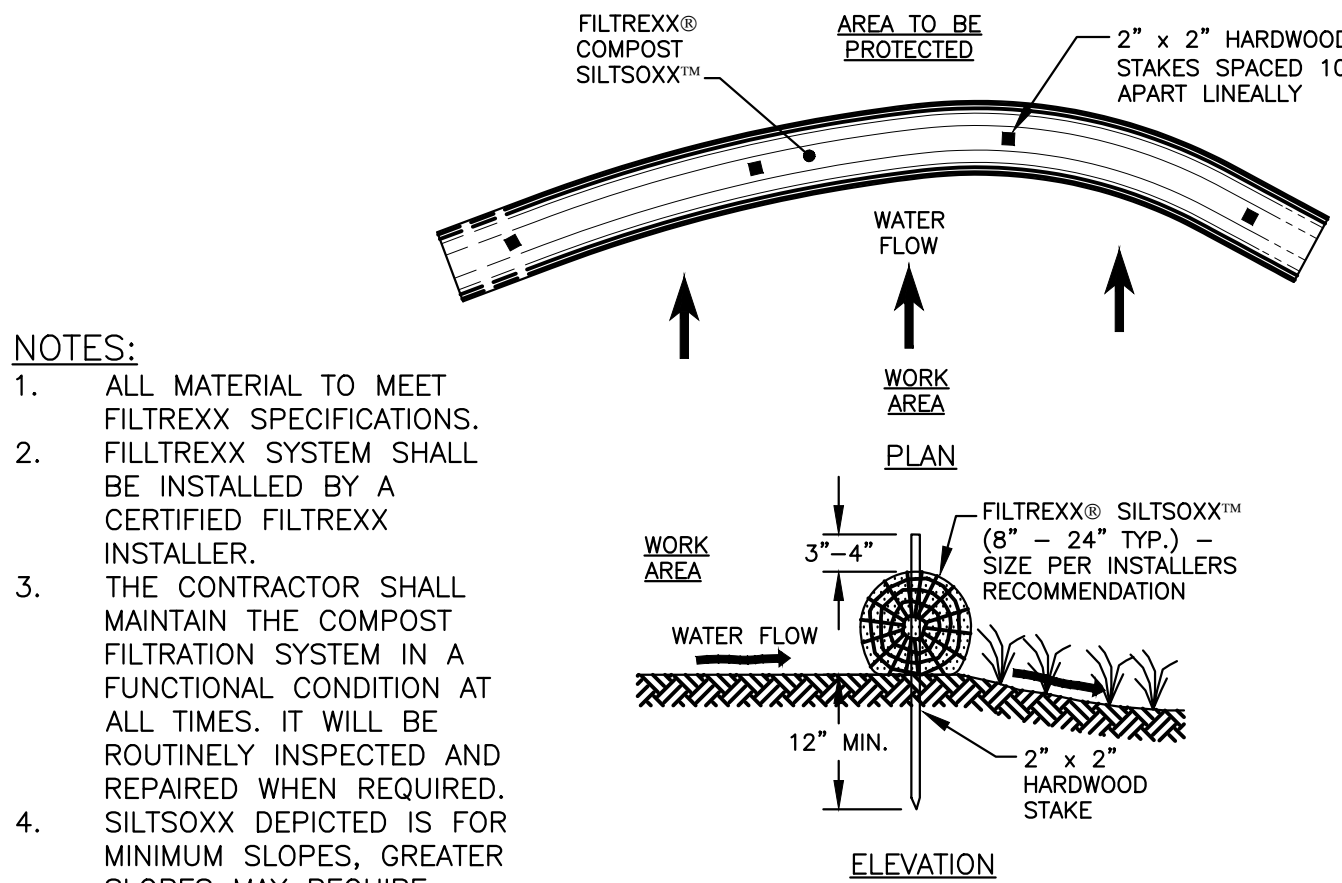


NOTES:

1. SILT SACK SHALL BE INSTALLED AT ALL EXISTING AND PROPOSED CATCH BASINS AND INLETS WITHIN THE LIMITS OF CONSTRUCTION SHOWN ON THE PLANS.
2. INSTALL AND MAINTAIN PER MANUFACTURERS REQUIREMENTS.

DRAINAGE INLET PROTECTION

SCALE: N.T.S

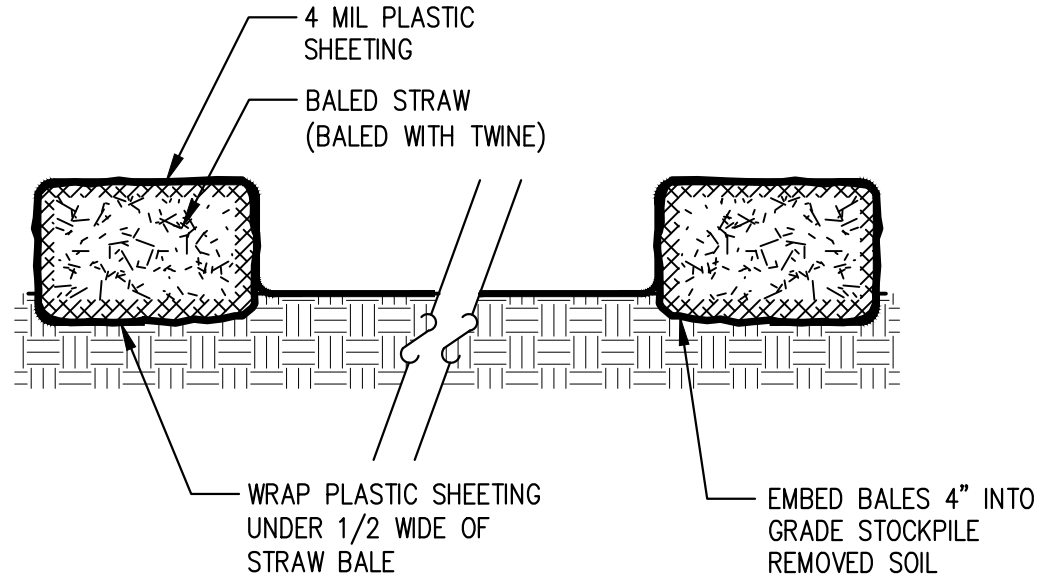


NOTES:

1. ALL MATERIAL TO MEET FILTREXX SPECIFICATIONS. FILTREXX SYSTEM SHALL BE INSTALLED BY A CERTIFIED FILTREXX INSTALLER.
2. THE CONTRACTOR SHALL MAINTAIN THE COMPOST FILTRATION SYSTEM IN A FUNCTIONAL CONDITION AT ALL TIMES. IT WILL BE ROUTINELY INSPECTED AND REPAIRED WHEN REQUIRED.
3. SILT SOXX DEPICTED IS FOR MINIMUM SLOPES, GREATER SLOPES MAY REQUIRE ADDITIONAL PLACEMENTS.
4. THE COMPOST FILTER MATERIAL WILL BE DISPERSED ON SITE WHEN NO LONGER REQUIRED, AS DETERMINED BY THE ENGINEER.

SEDIMENTATION FENCE / LOG

SCALE: N.T.S



NOTES:

1. CONTRACTOR MUST PROVIDE A CONCRETE CLEAN-OUT STATION. NO TRUCK CLEAN-OUT WILL BE ALLOWED WITHOUT CONTAINMENT.
2. PLASTIC WRAP SHALL BE FREE OF TEARS OR HOLES.
3. AFTER BASIN IS USED, WASHWATER FROM WASHOUT BASINN SHALL BE ALLOWED TO EVAPORATE OR BE VACUUMED OUT.
4. REMOVE REMAINING HARDENED SOLIDS.
5. REPLACE PLASTIC SHEETING AND TRAWBALES AS REQUIRED.

CONCRETE CLEAN-OUT

SCALE: N.T.S

DATE: JANUARY 2025

SCALE: AS SHOWN

PROJ. NO.: 7251

APVD BY: MRB

PROJECT: BORTHWICK – COAKLEY
CONNECTOR ROAD

TITLE: DETAIL SHEETS
NOTES & EROSION CONTROL

SHEET:

C-600

DEPARTMENT OF
PUBLIC WORKS
CITY OF PORTSMOUTH, NH
680 FEVERLY HILL ROAD
603-427-1530



DATE: JANUARY 2025

SCALE: AS SHOWN

PROJ. NO.: 7251

APVD BY: MRB

PROJECT: BORTHWICK – COAKLEY
CONNECTOR ROAD

TITLE: DETAIL SHEETS
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C-600

DEPARTMENT OF
PUBLIC WORKS
CITY OF PORTSMOUTH, NH
680 FEVERLY HILL ROAD
603-427-1530



DATE: JANUARY 2025

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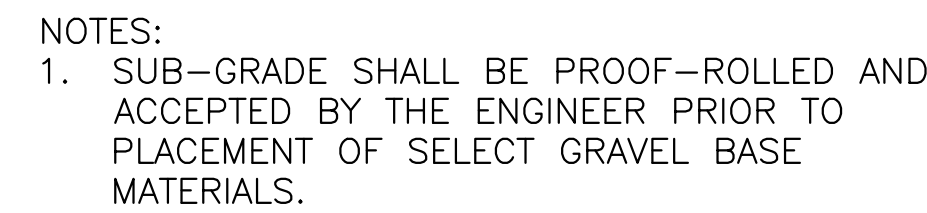
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PROJECT: BORTHWICK – COAKLEY
CONNECTOR ROAD

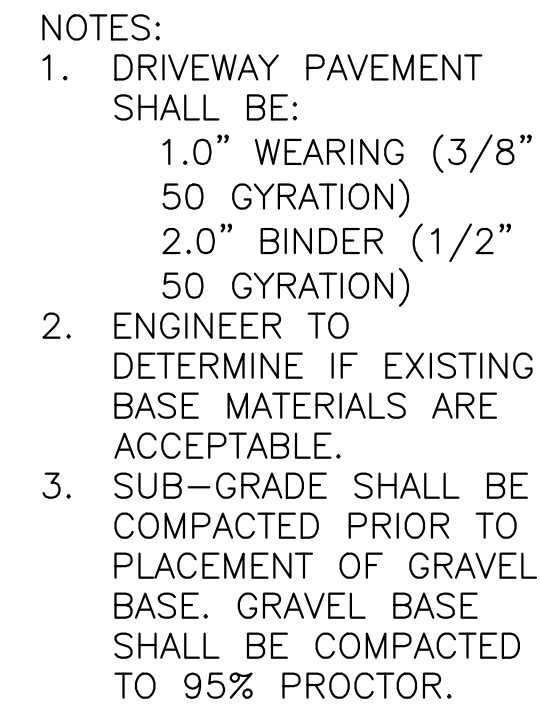
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NOTES & EROSION CONTROL

SHEET:

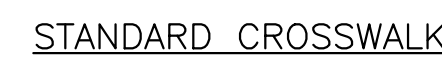
C-600



TYPICAL ROADWAY SECTION
SCALE: N.T.S

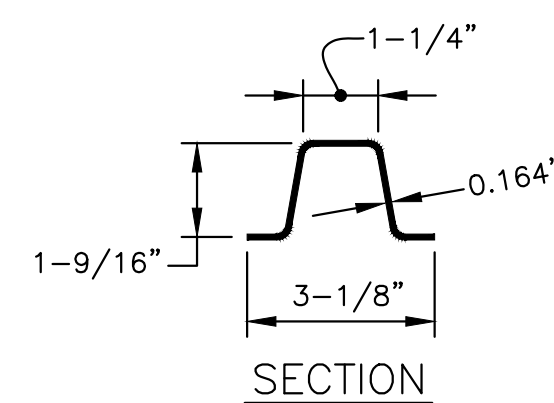
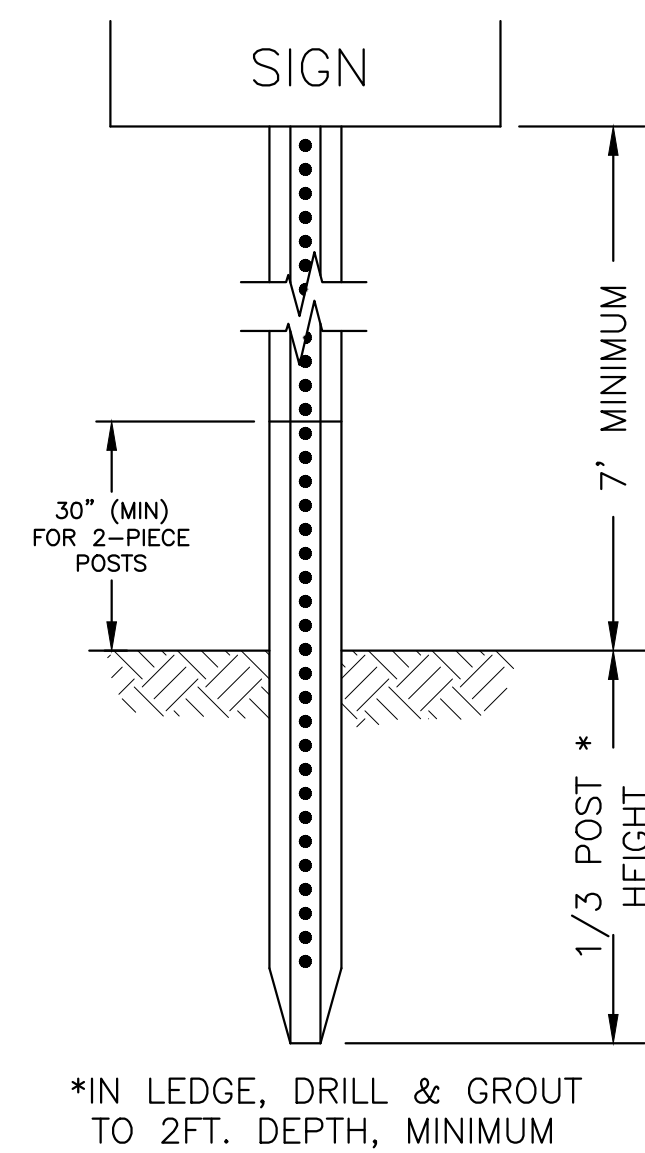
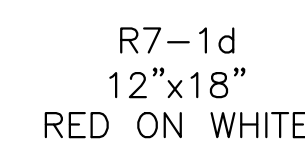
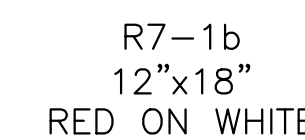
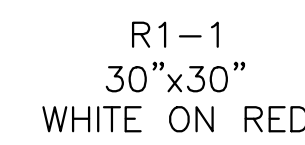


TYPICAL DRIVEWAY SECTION
SCALE: N.T.S



- NOTES:**
1. CROSSWALK SLOPES SHALL MATCH ROADWAY SLOPES.
 2. STRIPING SHALL BE THERMO PLASTIC RETROREFLECTIVE PAVEMENT MARKING PER ASTM D 4505.
 3. STANDARD CROSSWALKS SHALL BE AT CONTROLLED STOP (SIGNS OR SIGNALS) CROSSINGS WITH STOP SIGNS AND/OR LOW TRAFFIC LOCATIONS AS DIRECTED BY THE ENGINEER.
 4. HI-VIS 12" WIDE CROSSWALKS SHALL BE AT CROSSINGS WITHOUT CONTROLLED STOPS (SIGNS OR SIGNALS), MID-BLOCK CROSSINGS AND/OR OTHER HIGH TRAFFIC LOCATIONS AS DIRECTED BY THE ENGINEER.
 5. HI-VIS CROSSWALKS MAY REQUIRE ADDITIONAL ADVANCED PEDESTRIAN CROSSING SIGNAGE. SEE SITE PLANS FOR THESE LOCATIONS.

PEDESTRIAN CROSSING DETAILS
SCALE: N.T.S



LENGTH: AS REQUIRED

WEIGHT/LINEAR FOOT: 2.50 POUNDS
(MIN.)

HOLES: 3/8" DIA., 1" C-C FULL LENGTH

STEEL: SHALL CONFORM TO ASTM
A-499 (GRADE 60) OR ASTM A-5761
(GRADE 1070 - 1080)

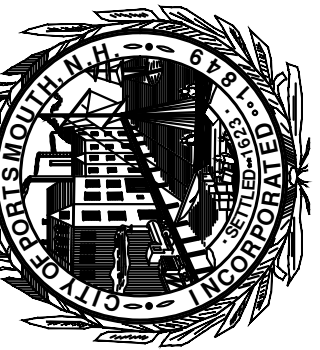
FINISH: SHALL BE HOT DIPPED GALVANIZED.

- NOTES:**
1. POSTS MAY BE SET OR DRIVEN.
 2. WHEN POSTS ARE SET, HOLES SHALL BE DUG TO THE PROPER DEPTH; AFTER INSERTING POSTS, THE HOLES SHALL BE BACK FILLED WITH SUITABLE MATERIAL IN LAYERS NOT TO EXCEED 6" IN DEPTH AND THOROUGHLY COMPACTED, CARE BEING TAKEN TO PRESERVE THE ALIGNMENT OF THE POST.
 3. WHEN POSTS ARE DRIVEN, A SUITABLE DRIVING CAP SHALL BE USED AND AFTER DRIVING THE TOP OF THE POST SHALL HAVE SUBSTANTIALLY THE SAME CROSS-SECTIONAL DIMENSION AS THE BODY OF THE POST; BATTERED HEADS WILL NOT BE ACCEPTED.
 4. POSTS SHALL NOT BE DRIVEN WITH THE SIGN ATTACHED TO THE POST.
 5. WHEN SIGN IS IN PLACE, NO PART OF THE POST SHALL EXTEND ABOVE THE SIGN.
 6. WHEN POST IS TO BE INSTALLED IN A CONCRETE SIDEWALK, A 4" DIA. PVC SLEEVE SHALL BE CAST INTO THE CONCRETE AGAINST THE BACK SIDE OF THE CURB.
 7. SIGNS FOR RECTANGULAR RAPID FLASHING (RRFB) BEACON SHALL BE INCLUDED IN THE PAY ITEM FOR THE RRFB AND NOT PAID SEPARATELY.

SIGNS AND POST
SCALE: N.T.S

[illegible]

DEPARTMENT OF
PUBLIC WORKS
CITY OF PORTSMOUTH, NH
680 PEVERLY HILL ROAD
603-427-1530



DATE: JANUARY 2025

SCALE: AS SHOWN

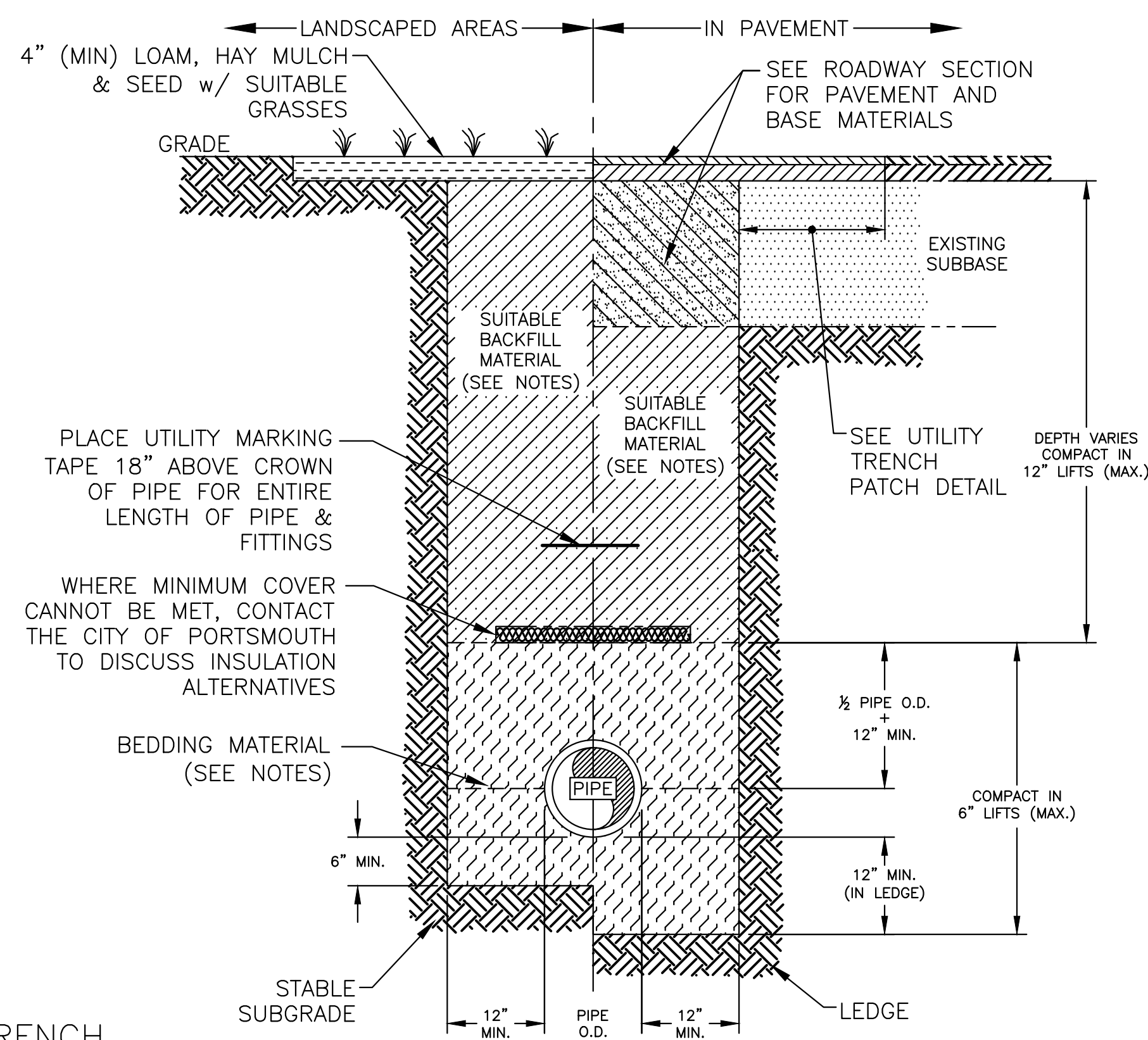
PROJ. NO.: 7251

APVD BY: MRB

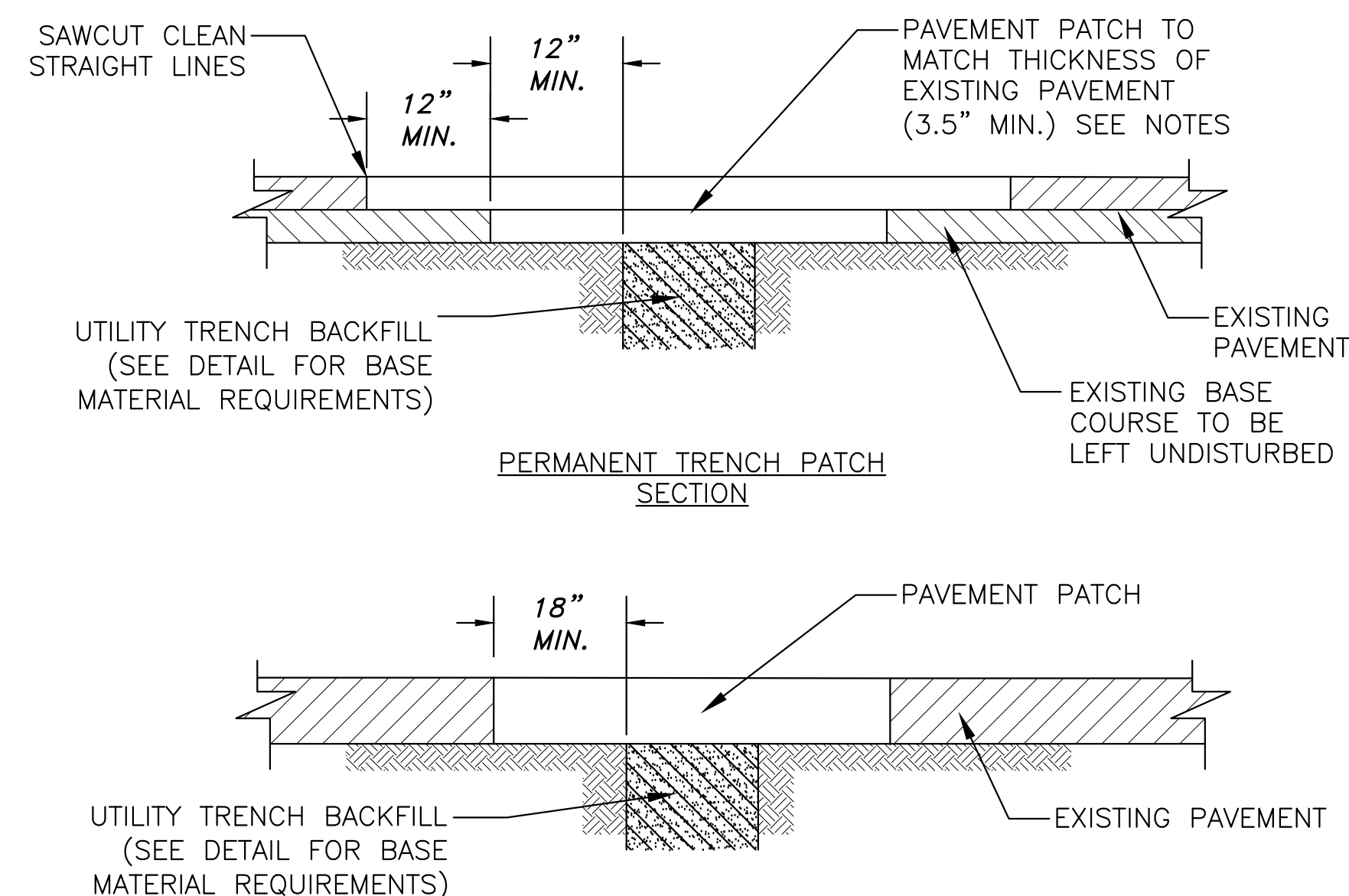
PROJECT:	BORTHWICK — COAKLEY CONNECTOR ROAD
TITLE:	DETAIL SHEETS ROADWAY

HEET:
C-601

1. SUITABLE MATERIAL FOR TRENCH BACKFILL SHALL BE THE NATURAL MATERIAL EXCAVATED DURING CONSTRUCTION, BUT SHALL EXCLUDE DEBRIS, PIECES OF PAVEMENT, ORGANIC MATTER, TOP SOIL, ALL WET OR SOFT MUCK, PEAT OR CLAY, ALL EXCAVATED LEDGE MATERIAL, AND ALL ROCKS OVER SIX INCHES IN LARGEST DIMENSION, OR ANY MATERIALS DEEMED TO BE UNACCEPTABLE BY THE ENGINEER.
2. BEDDING MATERIAL SHALL BE THE FULL WIDTH OF THE TRENCH UP TO 12" ABOVE TOP OF PIPE:
 - WATER – COURSE SAND
 - SEWER – CRUSHED STONE (NHDOT 304.4)
 - DRAIN – CRUSHED STONE (NHDOT 304.4)
3. SAND SHALL NOT BE DIRECTLY PLACED ON CRUSHED STONE. IN THE EVENT FINELY GRADED BACKFILL OR SAND IS USED ABOVE STONE, GEOTEXTILE FABRIC SHALL BE PLACED TO SEPARATE.
4. DEPTH OF COVER SHALL BE:
 - WATER – 5' MIN. & 7' MAX. (<5' REQ. RIGID INS.)
 - SEWER – AS INDICATED ON PLANS (<6' REQ. RIGID INS.)
 - DRAIN – AS INDICATED ON PLANS (<3' REQ. RIGID INS.)
5. WATER MAIN SHALL BE POLY WRAPPED AND HAVE THREE BRASS WEDGES AT ALL NON MECHANICAL CONNECTIONS.
6. ALL PIPES GREATER THAN 12" DIA. WITH STONE BEDDING, BEDDING SHALL BE WRAPPED IN GEOTEXTILE FABRIC. GEOTEXTILE FABRIC SHALL BE MIRAFI 140N OR APPROVED EQUAL. FABRIC SHALL BE WRAPPED COMPLETELY AROUND STONE w/12" (MIN) OVERLAP AT SEAMS.
7. UPON APPROVAL FROM THE ENGINEER, 2" RIGID FOAM INSULATION SHALL BE PLACED ON TOP OF BEDDING MATERIAL. BEDDING MATERIAL SHALL BE MADE SMOOTH TO ALLOW FOAM BOARD TO SIT WITHOUT VOIDS BENEATH. THE ENGINEER SHALL DETERMINE THE WIDTH REQUIREMENT OF THE FOAM BOARD.
8. RIGID INSULATION, GEOTEXTILE FABRIC, MARKING TAPE ARE INCIDENTAL TO THE PIPE PAY ITEM.




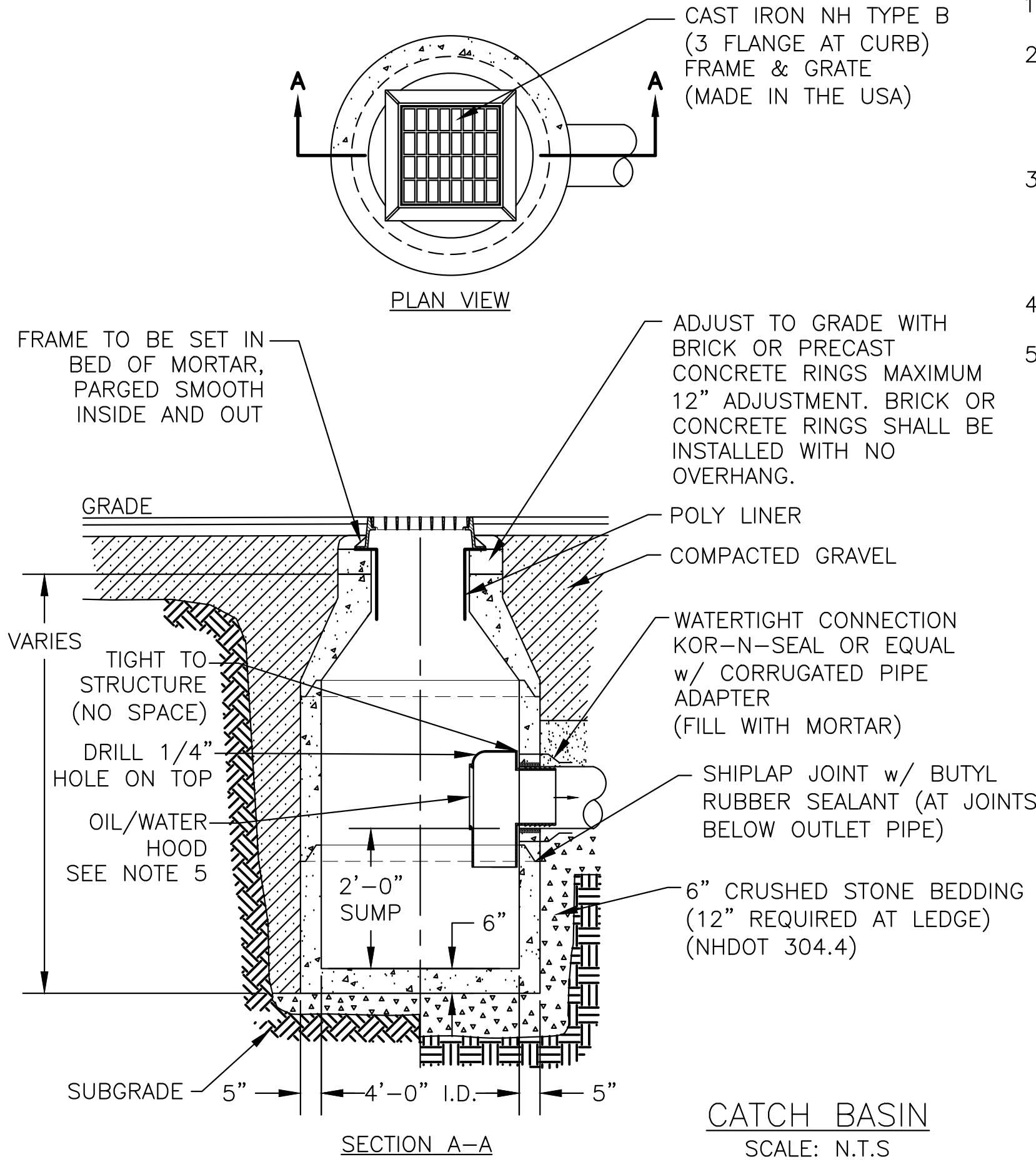
UTILITY TRENCH
SCALE: N.T.S



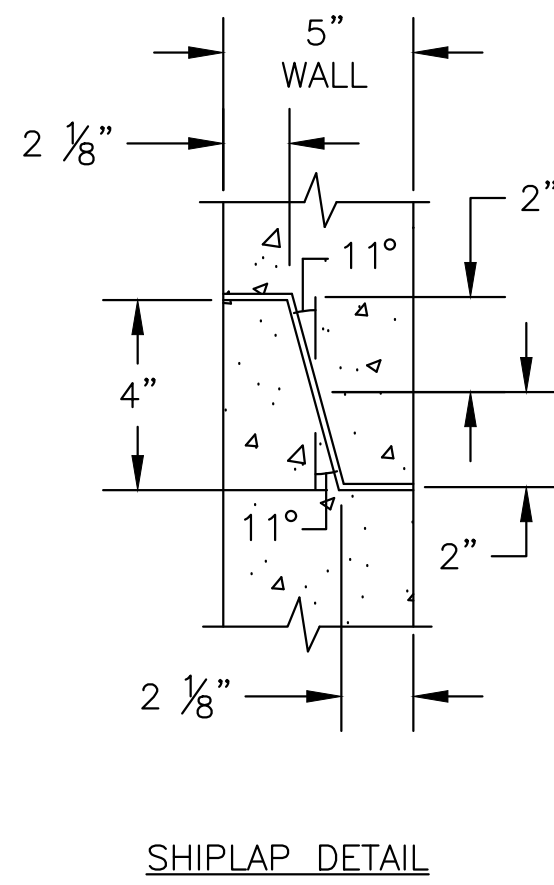
UTILITY TRENCH PATCH
SCALE: N.T.S.

1. TEMPORARY ASPHALT PLACED FOR UTILITY TRENCHES ARE SUBSIDIARY TO THE PIPE INSTALLATION PAY ITEM.
2. TEMPORARY PAVEMENT PATCH SHALL BE 3/4" BINDER (2" THK MIN.). PERMANENT PAVEMENT PATCH SHALL MATCH EXISTING THICKNESS, OR 3.5", WHICH EVER IS GREATER.
3. TEMPORARY PAVEMENT PATCHES SHALL BE MAINTAINED REGULARLY. CONTRACTOR SHALL REPLACE TEMPORARY PAVEMENT PATCHES AT THE DISCRETION OF THE ENGINEER
4. TRENCHES MAY REMAIN GRAVEL DURING THE WORK WEEK. NO TRENCHES SHALL REMAIN GRAVEL OVER THE WEEKEND, TEMPORARY PAVEMENT IS REQUIRED.

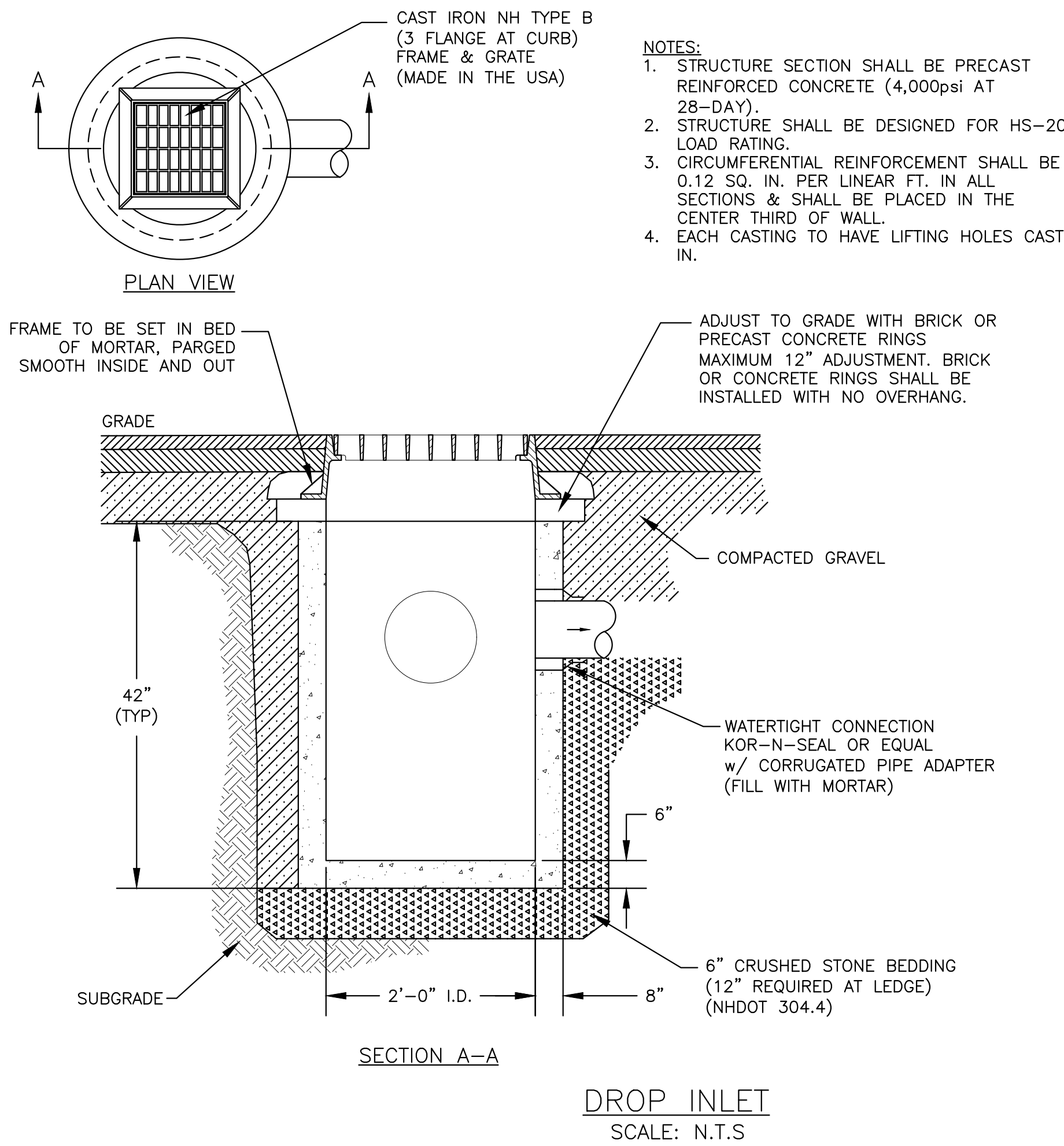
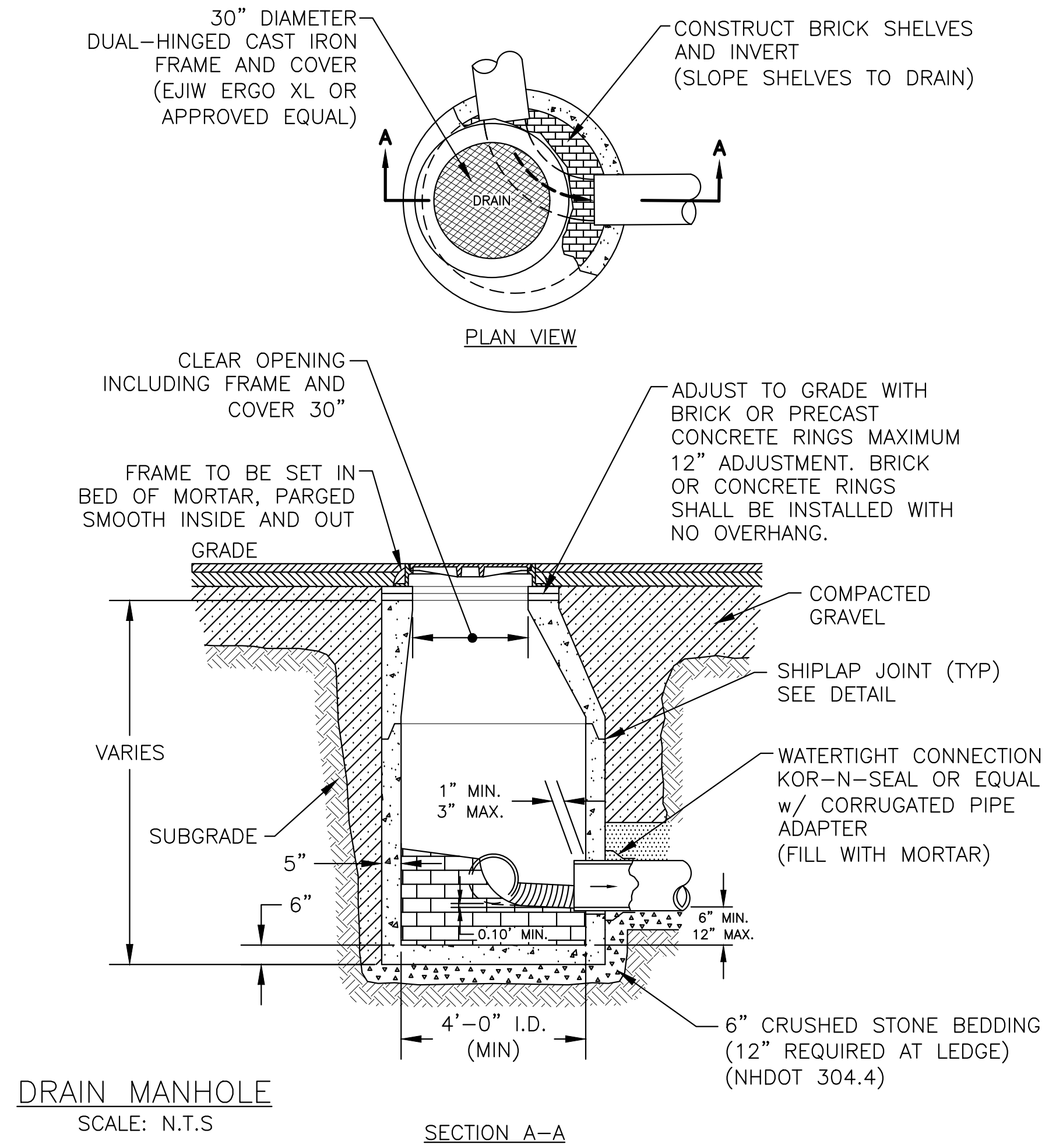
PROJECT: BORTHWICK — COAKLEY CONNECTOR ROAD		DATE: JANUARY 2025		 DEPARTMENT OF PUBLIC WORKS CITY OF PORTSMOUTH, NH 680 PEVERLY HILL ROAD 603-427-1530				
TITLE: DETAIL SHEETS GENERAL UTILITY		SCALE: AS SHOWN						
		PROJ. NO.: 7251						
		APVD BY: MRB						
SHEET: C-603				NO. B		60% DRAWING REVIEW	MRB	02/21/25
				REVISIONS		APP'D	DATE	



- NOTES:
1. CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.
 3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT.
 4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
 5. ALL CATCHBASINS OUTLETS SHALL HAVE 'ELIMINATOR' OIL AND FLOATING DEBRIS TRAP BY KLEANSTREAM (NO EQUAL). FOR EXIT ONLY CBs, NOT FOR PASS THROUGH CBs.



- NOTES:
1. CONCRETE SHALL BE 4,000 P.S.I. AFTER 28 DAYS.
 2. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS AND SHALL BE PLACED IN THE CENTER THIRD OF THE WALL.
 3. THE TONGUE OR THE GROOVE OF THE JOINT SHALL CONTAIN ONE LINE OF CIRCUMFERENTIAL REINFORCEMENT EQUAL TO 0.12 SQ. IN. PER LINEAR FT..
 4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.
 5. LADDER RUNGS SHALL BE OMITTED.



- NOTES:
1. STRUCTURE SECTION SHALL BE PRECAST REINFORCED CONCRETE (4,000psi AT 28-DAY).
 2. STRUCTURE SHALL BE DESIGNED FOR HS-20 LOAD RATING.
 3. CIRCUMFERENTIAL REINFORCEMENT SHALL BE 0.12 SQ. IN. PER LINEAR FT. IN ALL SECTIONS & SHALL BE PLACED IN THE CENTER THIRD OF WALL.
 4. EACH CASTING TO HAVE LIFTING HOLES CAST IN.

DEPARTMENT OF
PUBLIC WORKS
CITY OF PORTSMOUTH, NH
680 FEVERLY HILL ROAD
603-427-1530



DATE: JANUARY 2025
SCALE: AS SHOWN
PROJ. NO.: 7251
APVD BY: MRB

PROJECT: BORTHWICK - COAKLEY
CONNECTOR ROAD
TITLE: DETAIL SHEETS
DRAINAGE

SHEET:
C-604

NO.	REVISIONS	DATE
B	60% DRAWING REVIEW	02/21/25
MRB	APPD	

MEMORANDUM

TO: Karen Conard, City Manager
FROM: Peter Stith, Planning Manager
DATE: June 23, 2025
RE: Planning Board Recommendation on Coakley Road Extension

At the June 18, 2025 Planning Board meeting, the Board reviewed the plan for acquisition of private property to allow for the construction of a connector road between Coakley Road and Borthwick Avenue. The Planning Board voted unanimously to recommend the City Council acquire legal rights over privately owned land in accordance with Chapter 11 Article VI, Section 11.692 below.

ARTICLE VI: REFERRALS TO PLANNING BOARD (Added 12/21/2009)

Section 11.601: INTENT

The intent of this Article is to ensure that proposed municipal actions relating to land acquisition, disposition or use, and to the laying out, construction or discontinuance of public streets, are considered in the context of the City's comprehensive planning.

Section 11.602: REFERRAL AND REPORT

- A. The following matters shall be referred to the Planning Board in writing at least thirty (30) days before final action is taken:
 - (1) Any acquisition or disposition of municipal real property, including fee transfers, easements and licenses;
 - (2) Any plan for the construction, alteration, relocation, acceptance or discontinuance of a public way.
- B. No final action on a matter listed herein shall be taken until either the Planning Board has reported to the City Council thereon in writing or sixty (60) days have elapsed since the referral without such report.
- C. The failure to refer a matter listed herein to the Planning Board shall not affect the legal validity or force of any action related thereto if the Planning Board waives such referral.

CITY OF PORTSMOUTH
PORTSMOUTH, NEW HAMPSHIRE
TWO THOUSAND TWENTY-FIVE

RESOLUTION # -

BE IT RESOLVED:

RESOLUTION REGARDING PUBLIC NECESSITY TO LAYOUT ROADWAY AND
ACQUIRE PROPERTY FOR COAKLEY ROAD/BORTHWICK AVENUE PROJECT

1. WHEREAS, the State of New Hampshire Department of Transportation identified the construction of a connector roadway between Coakley Road and Borthwick Avenue as part of an overall conceptual improvement plan for the Route 1 Bypass and Traffic Circle in 2006, allowing for removal of the traffic signal at the intersection of the Bypass with Coakley Road and Cottage Street;
2. WHEREAS, the City of Portsmouth ("City") was awarded a grant in 2024 from the state administered federal Congestion Mitigation and Air Quality program for the removal of the traffic signal at the intersection of the Route 1 Bypass with Coakley Road and Cottage Street;
3. WHEREAS, the City began a formal design process to construct the connector roadway between Coakley Road and Borthwick Avenue (the "Project"), with the first public information meeting occurring in 2024;
4. WHEREAS, the Project will allow for left turns to and from the Bypass at the current intersection of Coakley Road and Cottage Street to be made from the Borthwick Avenue intersection;
5. WHEREAS, the removal of the traffic signal at Coakley and Cottage will eliminate the existing gridlock occurring between the two signalized intersections on the Bypass;
6. WHEREAS, the Project provides direct access for the Coakley Road neighborhood to the multiuse path along Borthwick Avenue;
7. WHEREAS, the Project allows for additional access points for the businesses adjacent to the proposed connector road;
8. WHEREAS, the Project allows for alternative access to the Coakley Road neighborhood during reconstruction of the bridge over Hodgdon Brook;
9. WHEREAS, the Portsmouth City Council, the governing body for the City of Portsmouth, held a duly noticed public hearing on July 14, 2025, at the Eileen Dondero Foley Council Chambers at City Hall, 1 Junkins Avenue, Portsmouth, NH;
10. WHEREAS, that hearing included a site visit to the Project area as well as a presentation describing the history of the project, the proposed layout of

improvements, and the property impacts both temporary and permanent (Attachment 1);

11. WHEREAS, the City Council heard testimony from all interested parties; and

12. WHEREAS, pursuant to NH RSA 231:8 et seq. the City Council has the authority to layout roads, sidewalks, bicycle paths and construct related drainage improvements.

NOW THEN, after notice and public hearing, the City Council of the City of Portsmouth:

- A. Declares that there is a public necessity for the acquisition of the property interests set forth in Attachment 1 and that such interests are for the public use and public benefit;
- B. Resolves that the property acquired will be for public use;
- C. Finds occasion to layout a new highway, with associated temporary construction easements described in Attachment 1;
- D. Finds that in balancing the public interest in the acquisition with the private interest of the property owners, the public interest outweighs the private interests;
- E. Finds that in balancing the public interest in the acquisition against the burden it imposes on the City, the public interest is greater than the burden; and

WHEREFORE, the City Manager is authorized to negotiate in good faith the acquisition of property by mutual agreement, and to pursue condemnation as may be necessary pursuant to RSA 231 and 498-A in order to secure the property interests set forth in Attachment A to this Resolution.

This Resolution shall take effect upon passage.

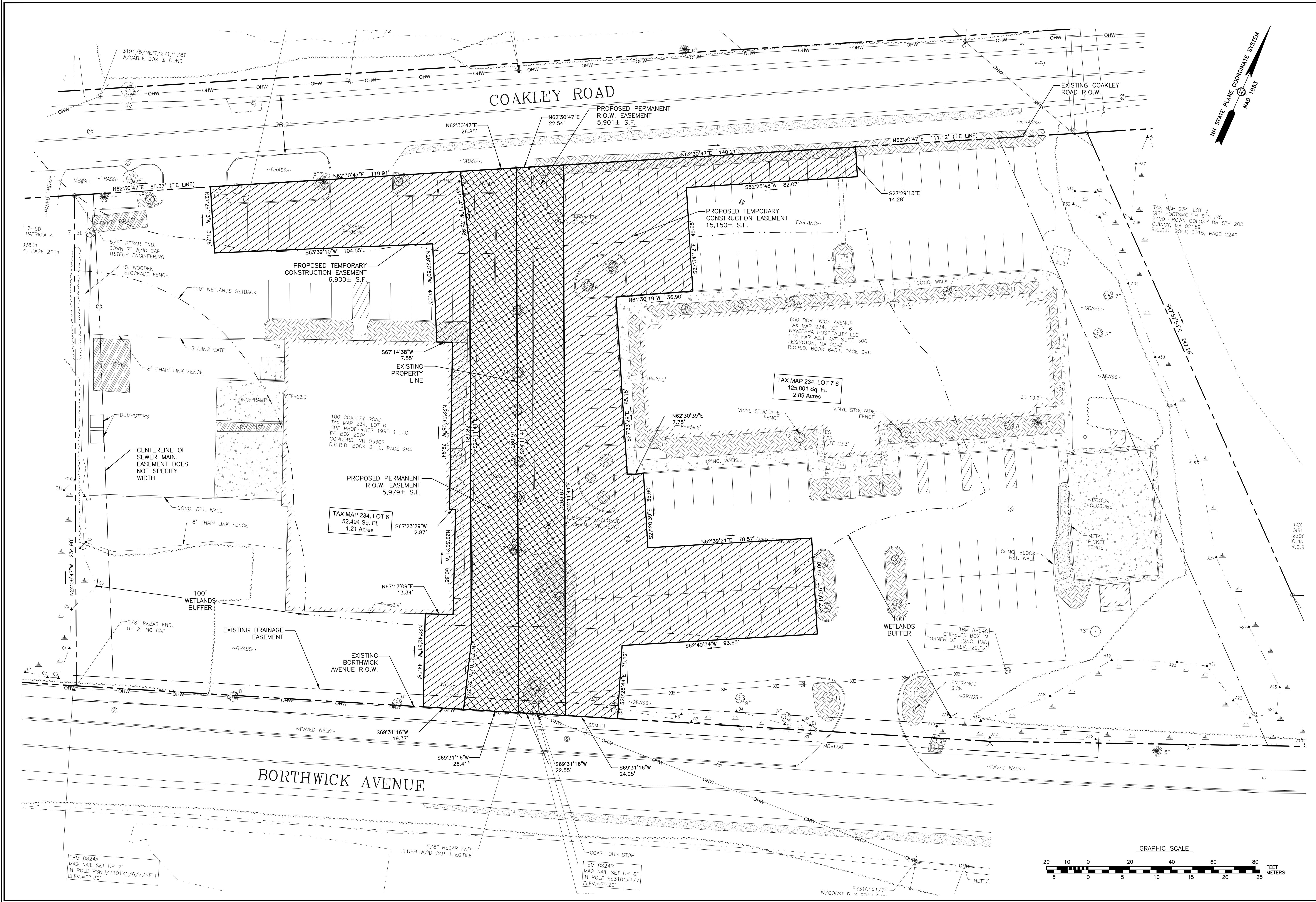
Approved:

Deaglan McEachern, Mayor

Adopted by the City Council

, 2025

Kelli L. Barnaby, City Clerk



PROJECT: BORTHWICK – COAKLEY CONNECTOR ROAD		DATE: JANUARY 2025		 DEPARTMENT OF PUBLIC WORKS CITY OF PORTSMOUTH, NH 680 FEVERY HILL ROAD 603-427-1530					
TITLE: PROPOSED EASEMENT PLAN		SCALE: AS SHOWN							
		PROJ. NO.: 7251							
		APVD BY: MRB							
						B	ADDED METES & BOUNDS	MRB	07/04/25
						A	ISSUED FOR REVIEW	MRB	06/10/25
						NO.	REVISIONS	APP'D	DATE

Coakley Road Connector Project

City Council Presentation

July 14, 2025

Portsmouth Department of Public Works

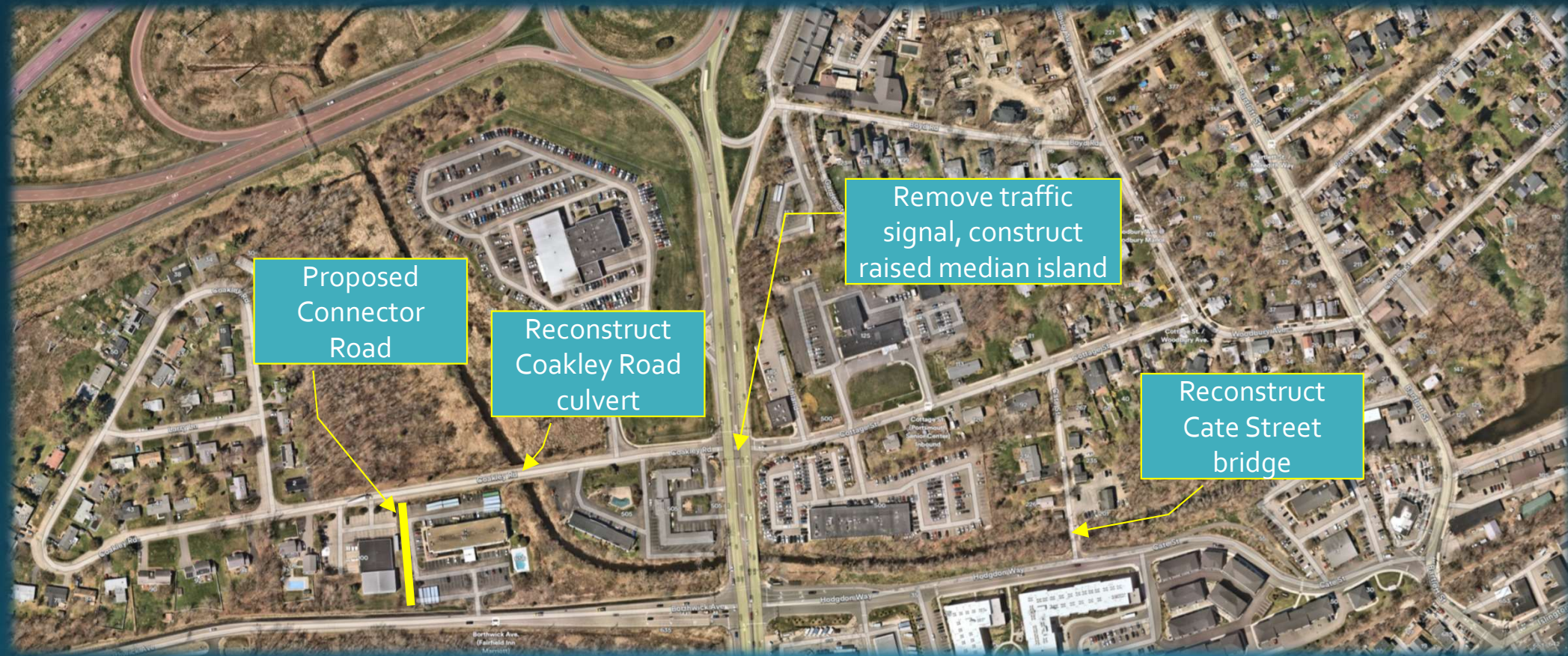
Introductions

Eric Eby, P.E. – Transportation Engineer

Trevor McCourt – Deputy City Attorney



Proposed Project(s)



Project Goals

- Reduce congestion on Route 1 Bypass between Borthwick Avenue and the Portsmouth Traffic Circle.
- Reduce cut-through traffic on Bartlett Street, Cottage Street and Woodbury Avenue.
- Improve Coakley Road neighborhood access to Borthwick Avenue bicycle and pedestrian facilities.
- Improve access to Portsmouth Hospital.
- Maintain access to and from the Bypass in both directions for all abutters and neighborhoods.
- Repair bridges over Hodgdon Brook



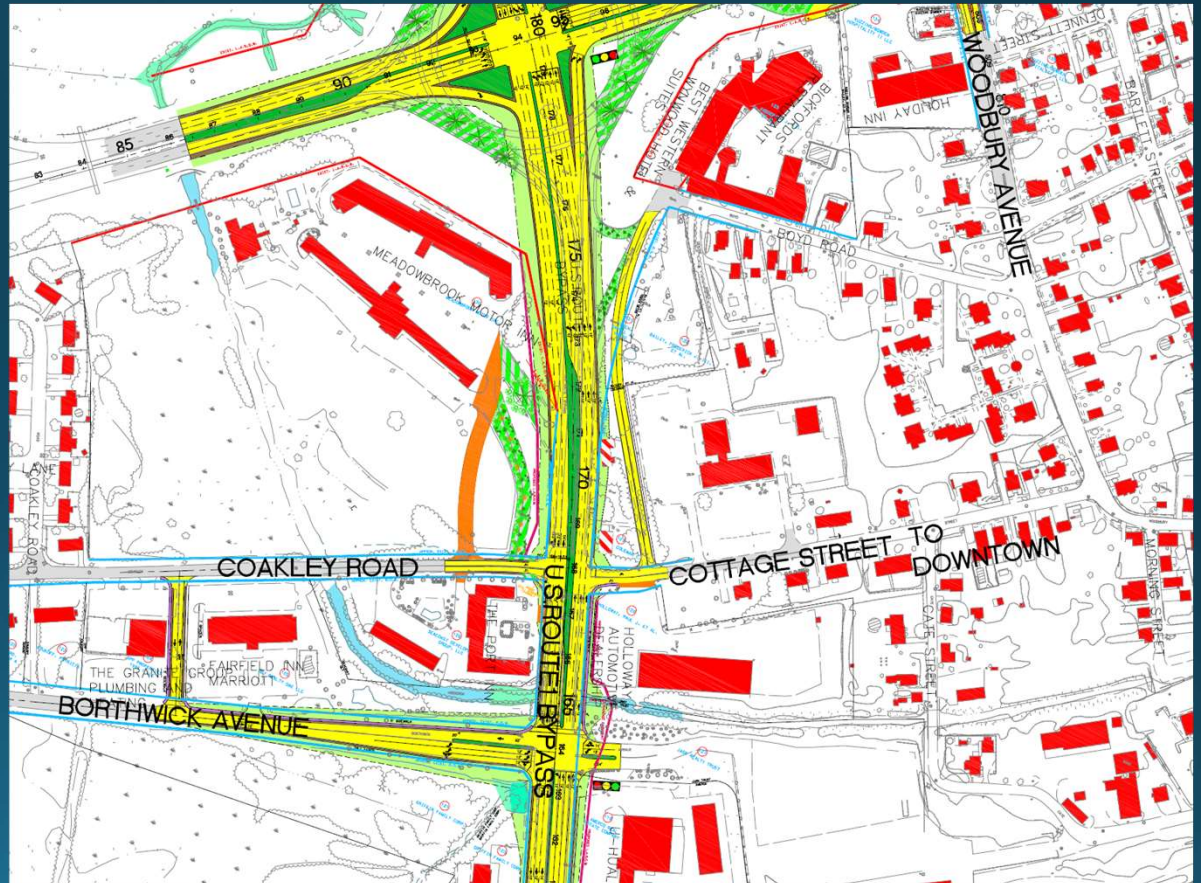
Cate Street Bridge



Coakley Road Culvert

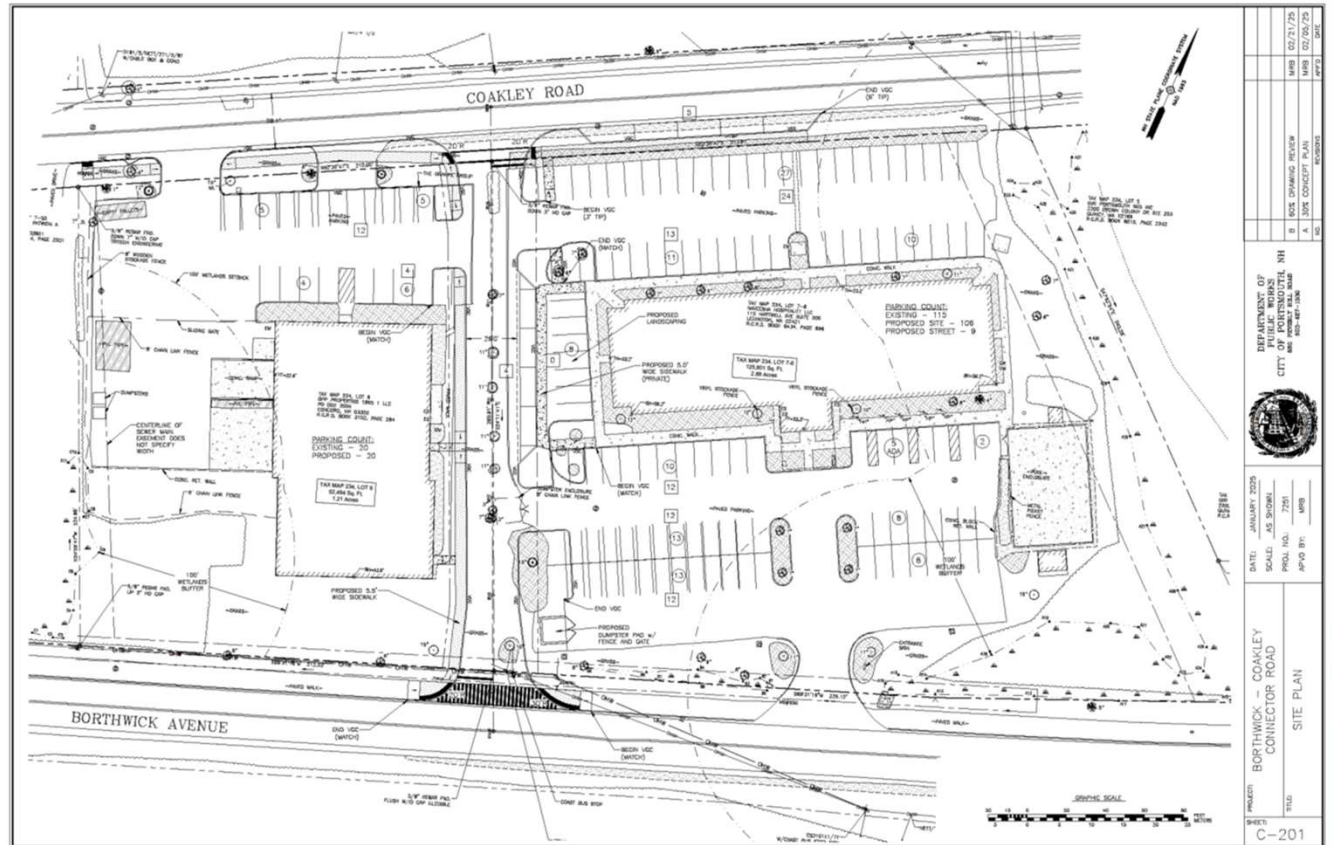
Project History and Funding

- NHDOT 2006 concept
- \$1M identified in City's FY26 CIP for connector road.
- \$960,000 Congestion Mitigation and Air Quality (CMAQ) grant approved for traffic signal removal in 2024. City to also contribute \$240,000.
- \$1.335M in DOT Ten Year Plan for Cate Street bridge. \$415,000 in City CIP. Red listed bridge.
- Coakley culvert condition downgraded to poor by DOT in 2024. Now red listed.
- \$1M in DOT Ten Year Plan for study of Traffic Circle to determine best alternative.



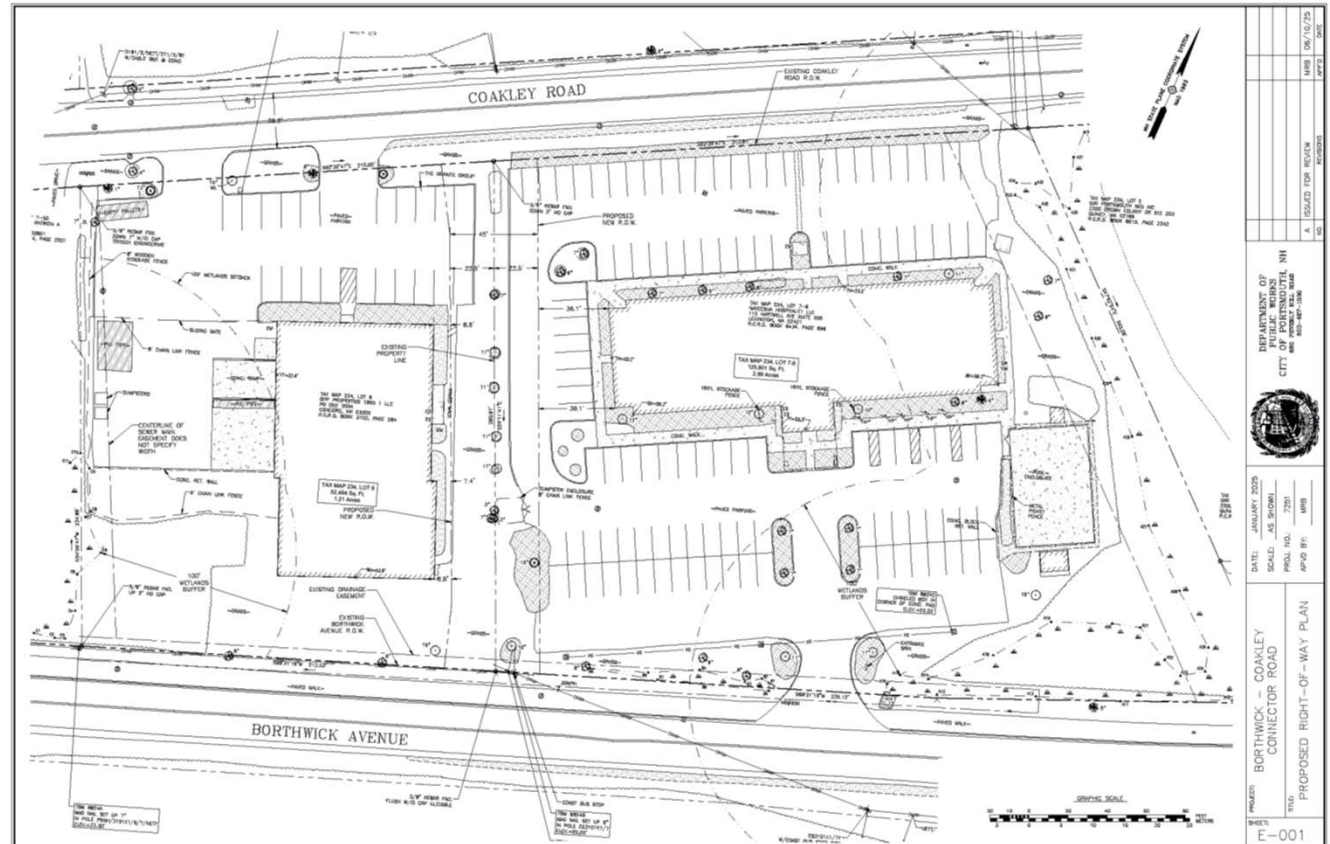
Connector Road Plan

- One lane each direction.
- On-street parking
- Sidewalks
- New driveways



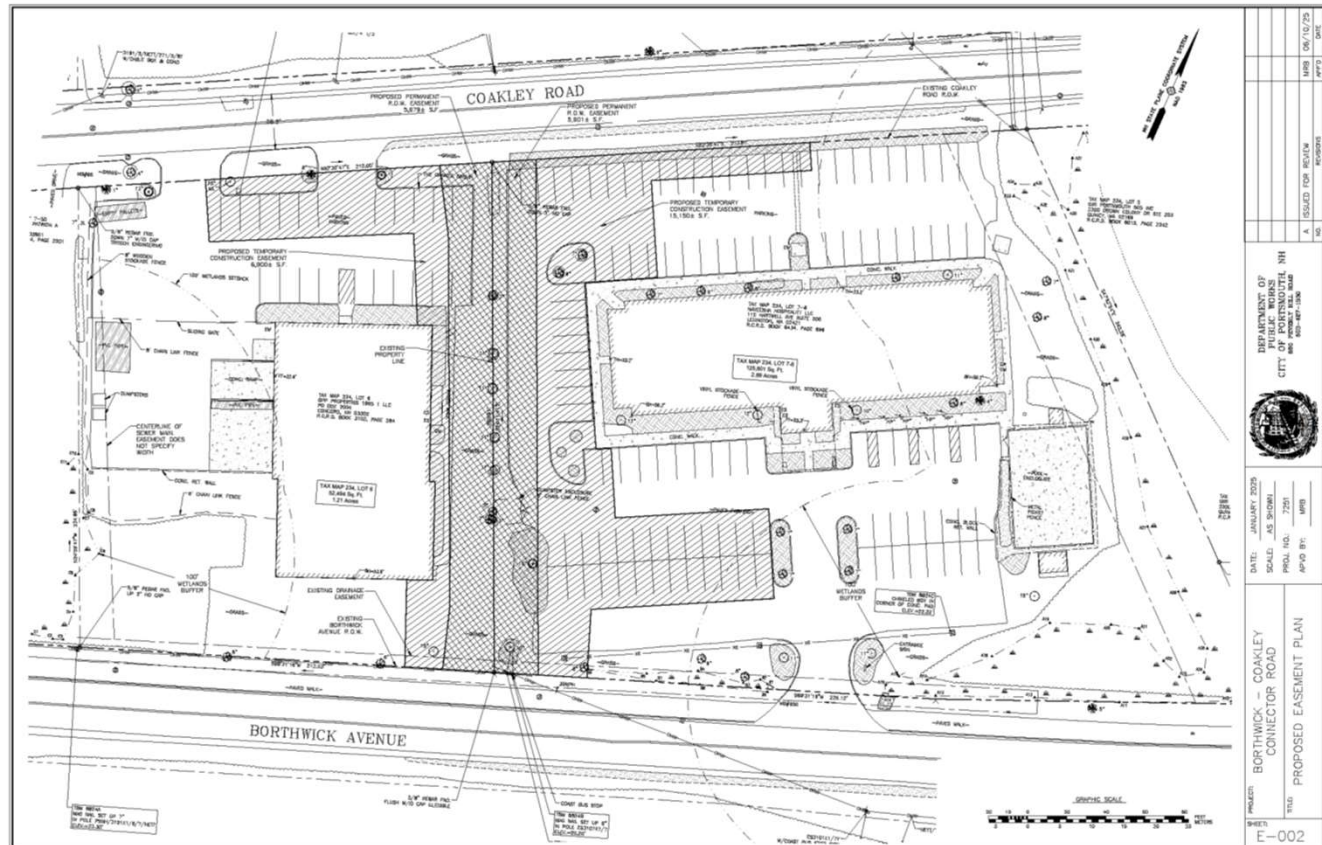
Connector Road Layout

- Centered on existing property line.
- Minimizes site impacts
 - 5,979 sf from Granite Group
 - 5,901 sf from Fairfield Inn
- Wetlands Buffer Area



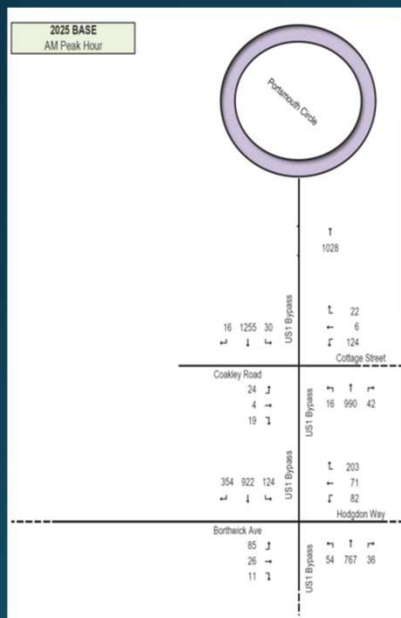
Temporary Construction Easements

- Parking lot and driveway reconfigurations on both sites
- Grading for new sidewalks
- ~6,900 sf on Granite Group site
- ~15,150 sf on Fairfield Inn site

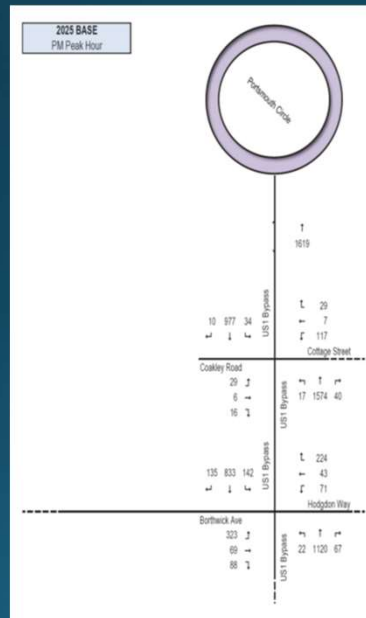


2025 Existing Peak Hour Volumes

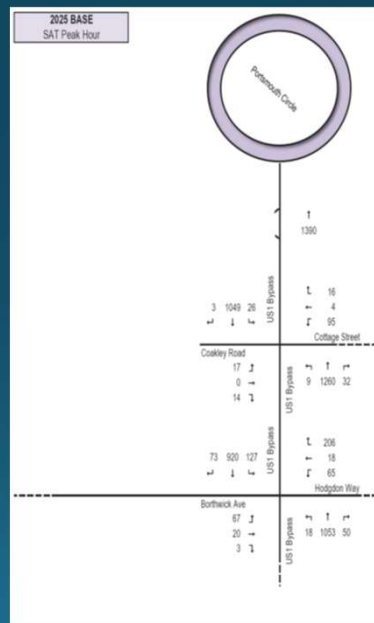
Weekday AM



Weekday PM



Saturday
Midday



- West End Yards 2019 Traffic Study included analysis of possible signal removal. Full West End Yards study available on City project webpage.
- Recent traffic counts show critical left turns 20-50% lower than projected in 2019 study.
- Full updated traffic study to be conducted as part of initial engineering efforts, to confirm feasibility.

Next Steps:

Connector Roadway

- ConCom recommendation and Planning Board Wetland Conditional Use for work in the wetland buffer
- City to negotiate with property owners and potentially condemn land necessary for the new roadway

Coakley Road Culvert

- Consultant selected to prepare engineering design plans
- Reconstruct culvert – anticipated 2027

Cate Street Bridge

- Hire consultant for Engineering Study, Design Plans
- Reconstruct bridge – NHDOT schedule 2028

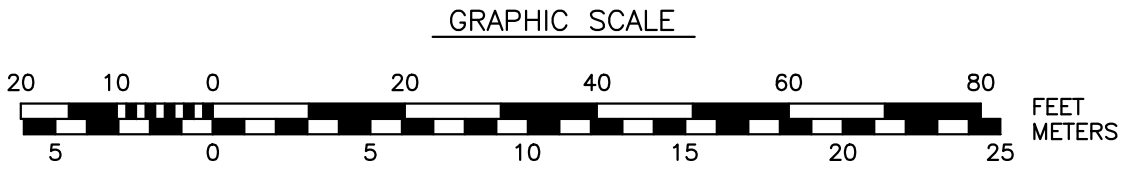
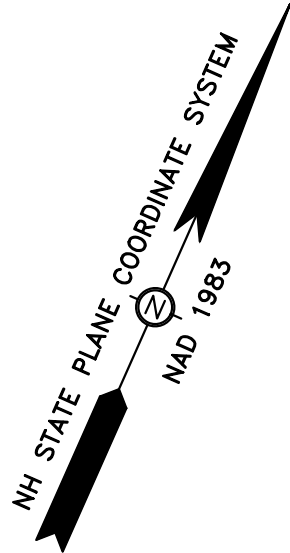
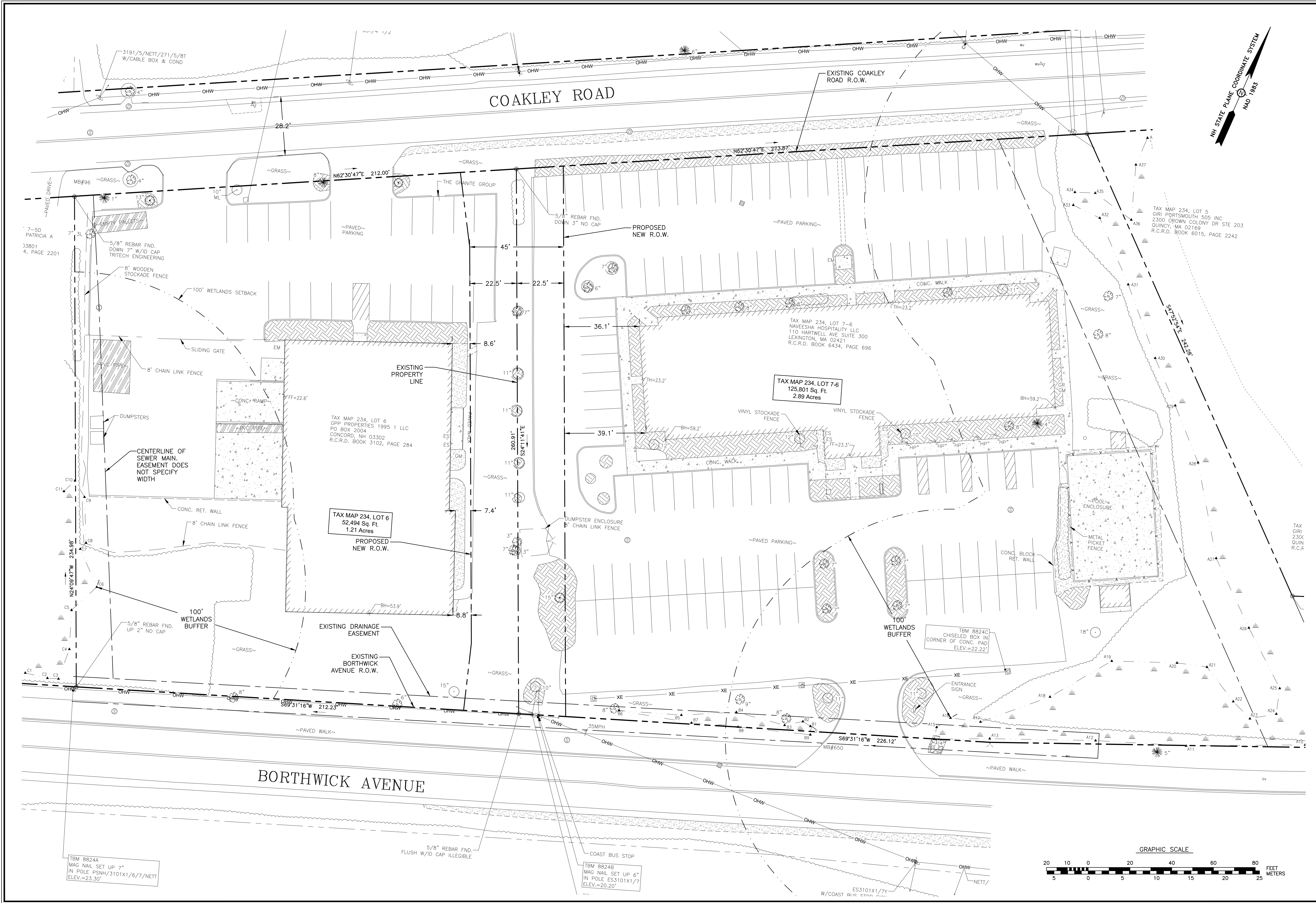
Signal Removal

- Enter grant agreement with State for CMAQ funding.
- Hire consultant to conduct Engineering Study, Design Plans
- Removal of signal and construction of median island – NHDOT schedule 2031

Questions, Comments



1956



PROJECT: BORTHWICK - COAKLEY CONNECTOR ROAD		DATE: JANUARY 2025	
TITLE: PROPOSED RIGHT-OF-WAY PLAN		SCALE: AS SHOWN	
SHEET: E-001		PROJ. NO.: 7251	
		APVD BY: MRB	
		ISSUED FOR REVIEW	
		REVISIONS	
		MRB	
		APPT'D	
		DATE	
		06/10/25	

DEPARTMENT OF PUBLIC WORKS

CITY OF PORTSMOUTH, NH

680 PEVERLY HILL ROAD

603-427-1530

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that a Public Hearing will be held by the Portsmouth City Council on Monday, July 14, 2025, at 7:00 p.m., at the Portsmouth Municipal Complex in the Eileen Dondero Foley Council Chambers, Portsmouth, NH on a proposed Resolution Authorizing a Bond Issue and/or Notes of the City under the Municipal Finance Act of up to Four Million One Hundred Fifty Thousand Dollars (\$4,150,000.00) for costs related to:

- School Facilities Capital Improvements
- Elementary Schools Upgrade
- Elementary Schools Playground Upgrade

The complete Resolution is available for review in the Office of the City Clerk and Portsmouth Public Library, during regular business hours.

KELLI L. BARNABY, MMC/CNHMC
PORTSMOUTH, NH CITY CLERK

LEGAL NOTICE

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KELLI L. BARNABY,
MMC/CNHMC
PORTSMOUTH, NH
CITY CLERK

**CITY OF PORTSMOUTH
TWO THOUSAND TWENTY-FIVE
PORTSMOUTH, NEW HAMPSHIRE**

RESOLUTION # XX – 2025

A Resolution authorizing a Bond Issue and/or notes of the City under the Municipal Finance Act of up to Four Million One Hundred Fifty Thousand Dollars (\$4,150,000) for costs related to:

- **School Facilities Capital Improvements**
- **Elementary Schools Upgrade**
- **Elementary Schools Playground Upgrade**

RESOLVED:

THAT, the sum of up to **Four Million One Hundred Fifty Thousand Dollars (\$4,150,000)** is appropriated for:

School Facilities Capital Improvements	\$	650,000	20 yrs
Elementary Schools Upgrade	\$	3,000,000	20 yrs
Elementary Schools Playground Upgrade	\$	500,000	20 yrs
Total	\$	4,150,000	

including the payment of costs incidental or related thereto;

THAT, to meet this appropriation, the City Treasurer, with the approval of the City Manager, is authorized to borrow, on a competitive or negotiated basis, up to **Four Million One Hundred Fifty Thousand Dollars (\$4,150,000)** through the issuance of bonds and/or notes of the City under the Municipal Finance Act;

THAT, the expected useful life of the projects is set forth above, and

THAT, this Resolution shall take effect upon its passage.

APPROVED BY:

DEAGLAN MCEACHERN, MAYOR

ADOPTED BY THE CITY COUNCIL:

**KELLI BARNABY, CMC/CNHMC
CITY CLERK**

BI-07-SC-11: School Facilities Capital Improvements

Department		School District
Project Location		District Wide
Priority		O (ongoing or programmatic)
Impact on Operating Budget		Minimal (\$5,002 to \$50,000)
Operating Budget Impact Details	Personnel	N/A
	Dept. Budget	Air handling upgrade costs
Funding Policies	Percent for Art	N/A
	Green Building	Yes



Description: The Portsmouth School Department has maintenance responsibilities for seven (7) buildings and the grounds that accompany them. These appropriations are used for buildings and grounds improvement projects including paving, roofing, energy efficiency upgrades, infrastructure replacement, and security enhancements. FY30 funding will support air handling upgrades in high school spaces impacted by State supported renovation of the CTE Center.

Studies Identified & Useful Website Links:

- [Portsmouth School Department Homepage](#)
- [FY25-FY30 CIP \(Prior Year\) Project Sheet](#)

Notes of Changes in Funding Plan from FY25-30 CIP:

Funding added to FY28 for District-wide paving and roof replacements and funding increased in FY30 from \$1,000,000 to \$3,000,000 to support air handling upgrades to areas adjacent to the CTE center.

		FY26	FY27	FY28	FY29	FY30	FY31	Totals 26-31	6 PY's Funding	Totals
GF	0%							\$0	\$0	\$0
Fed/ State	0%							\$0	\$0	\$0
Bond/ Lease	100%	\$650,000	\$1,000,000	\$500,000		\$3,000,000		\$5,150,000	\$3,800,000	\$8,950,000
Other	0%							\$0	\$0	\$0
Revenues	0%							\$0	\$0	\$0
PPP	0%							\$0	\$0	\$0
	Totals	\$650,000	\$1,000,000	\$500,000	\$0	\$3,000,000	\$0	\$5,150,000	\$3,800,000	\$8,950,000

CAPITAL IMPROVEMENT PLAN

FY 26-31

II-28

BI-07-SC-11: SCHOOL FACILITIES CAPITAL IMPROVEMENTS

<u>Facility/School</u>	<u>Improvement Project</u>	<u>FY26</u>	<u>FY27</u>	<u>FY28</u>	<u>FY29</u>	<u>FY30</u>	<u>FY31</u>	<u>Totals</u>
District Wide	Paving / Exterior Lighting Improvements	\$400,000	\$200,000	\$200,000				\$800,000
District Wide	Roof Replacement	\$250,000	\$250,000	\$300,000				\$800,000
High School	Athletic Complex Upgrades (Irrigation, Infrastructure)		\$225,000					\$225,000
High School	Security Upgrades - Doors & Hardware, Surveillance		\$100,000					\$100,000
High School	Interior Upgrades - Painting / Wall Tile		\$125,000					\$125,000
High School	Energy Efficiency Upgrades Lighting/Mechanical		\$100,000					\$100,000
High School	Life Safety, Security and Mechanical Infrastructure					\$3,000,000		\$3,000,000
								\$0
								\$0
Total District Wide City Capital Improvement		\$650,000	\$450,000	\$500,000	\$0	\$0	\$0	\$1,600,000
Total High School Capital Improvement		\$0	\$550,000	\$0	\$0	\$3,000,000	\$0	\$3,550,000
Total Elementary Schools Capital Improvement		\$0	\$0	\$0	\$0	\$0	\$0	\$0
TOTAL IMPROVEMENTS		\$650,000	\$1,000,000	\$500,000	\$0	\$3,000,000	\$0	\$5,150,000

BI-08-SC-12: Elementary Schools Upgrade

Department		School Department
Project Location		Elementary Schools (Dondero School , Little Harbour , and New Franklin)
Priority		A (needed within 0 to 3 years)
Impact on Operating Budget		Minimal (\$5,002 to \$50,000)
Operating Budget Impact Details	Personnel	N/A
	Dept. Budget	Minimal increases from upgrades
Funding Policies	Percent for Art	N/A
	Green Building	Yes

**Evaluation Criteria**

CORE FUNCTION	Responds to Federal or State Requirement	
	Addresses a Public Health or Safety Need	Y
	Alleviates Substandard Conditions or Deficiencies	Y
FINANCIAL BENEFIT	Eligible for Matching Funds with Limited Availability	
	Timing or Location Coordinate with Synergistic Project	
	Reduces Long-Term Operating Costs	Y
COMMUNITY PLAN OR IMPROVEMENT	Identified in Planning Document or Study	Y
	Improves Quality of or Provides Added Capacity to Existing Services	
	Provides Incentive for Economic Development	
	Responds to a Citywide Goal or Submitted Resident Request	

Description: This appropriation continues upgrading of the infrastructure of our Elementary Schools. Comprehensive renovation of the New Franklin interior is projected for Fiscal Years 2026 and 2029 and will address accessibility issues, upgrades to school entrance security, and building storage needs.

Studies Identified & Useful Website Links:

- [Portsmouth School Department Homepage](#)
- [FY25-FY30 CIP \(Prior Year\) Project Sheet](#)

Notes of Changes in Funding Plan from FY25-30 CIP:

		FY26	FY27	FY28	FY29	FY30	FY31	Totals 26-31	6 PY's Funding	Totals
GF	2%							\$0	\$200,000	\$200,000
Fed/ State	0%							\$0	\$0	\$0
Bond/ Lease	98%	\$3,000,000			\$2,500,000			\$5,500,000	\$4,600,000	\$10,100,000
Other	0%							\$0	\$0	\$0
Revenues	0%							\$0	\$0	\$0
PPP	0%							\$0	\$0	\$0
	Totals	\$3,000,000	\$0	\$0	\$2,500,000	\$0	\$0	\$5,500,000	\$4,800,000	\$10,300,000

BI-26-SC-14: Elementary Schools Playground Upgrade

Department		School Department
Project Location		Elementary Schools (Dondero School , Little Harbour , and New Franklin)
Priority		A (Needed within 0 to 3 years)
Impact on Operating Budget		Moderate (\$50,001 to \$100,000)
Operating Budget Impact Details	Personnel	N/A
	Dept. Budget	Annual maintenance costs for all three playgrounds
Funding Policies	Percent for Art	N/A
	Green Building	N/A

Evaluation Criteria

CORE FUNCTION	Responds to Federal or State Requirement	Y
	Addresses a Public Health or Safety Need	Y
	Alleviates Substandard Conditions or Deficiencies	Y
FINANCIAL BENEFIT	Eligible for Matching Funds with Limited Availability	
	Timing or Location Coordinate with Synergistic Project	
	Reduces Long-Term Operating Costs	
COMMUNITY PLAN OR IMPROVEMENT	Identified in Planning Document or Study	Y
	Improves Quality of or Provides Added Capacity to Existing Services	Y
	Provides Incentive for Economic Development	
	Responds to a Citywide Goal or Submitted Resident Request	Y



Description: This appropriation is for the upgrading of the playgrounds at our Elementary Schools. Current school playspaces are aging, with Little Harbour and New Franklin's playgrounds now being 25 years old. The City is looking to address accessibility and equity concerns. Current regulations require the City to provide a resilient solid surface material to ensure accessibility for all students.

Studies Identified & Useful Website Links:

- [Portsmouth School Department Homepage](#)

Notes of Changes in Funding Plan from FY25-30 CIP:

New project for FY26. City Council moved bonding of \$500,000 in FY27 → FY29 up by 1 year each to FY26 → FY28

		FY26	FY27	FY28	FY29	FY30	FY31	Totals 25-30	6 PY's Funding	Totals
GF	16%	\$100,000	\$100,000	\$100,000				\$300,000	\$0	\$300,000
Fed/ State	0%							\$0	\$0	\$0
Bond/ Lease	82%	\$500,000	\$500,000	\$500,000				\$1,500,000	\$0	\$1,500,000
Other	0%							\$0	\$0	\$0
Revenues	0%							\$0	\$0	\$0
PPP	1%	\$25,000						\$25,000	\$0	\$25,000
	Totals	\$625,000	\$600,000	\$600,000	\$0	\$0	\$0	\$1,825,000	\$0	\$1,825,000

LEGAL NOTICE

NOTICE IS HEREBY GIVEN that a Public Hearing will be held by the Portsmouth City Council on Monday, July 14, 2025, at 7:00 p.m., at the Portsmouth Municipal Complex in the Eileen Dondero Foley Council Chambers, Portsmouth, NH, on the proposed Ordinance amending Chapter 7, Vehicles, Traffic and Parking, Article III, Traffic Ordinance, Section 7.324 Time Limited Free Parking for Residents and Special Military License Plates (A) Free Fifteen Minute Parking for Residents, and (B) Free Three Hour Parking for Special Military License Plates. The complete Ordinance is available for review in the Office of the Portsmouth City Clerk and Portsmouth Public Library, during regular business hours.

KELLI L. BARNABY, MMC/CNHMC
PORTSMOUTH, NH CITY CLERK

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KELLI L. BARNABY,
MMC/CNHMC
PORTSMOUTH, NH
CITY CLERK

ORDINANCE #

THE CITY OF PORTSMOUTH ORDAINS

That Chapter 7, VEHICLES, TRAFFIC AND PARKING, Article III, TRAFFIC ORDINANCE, Section 7.324: **TIME LIMITED FREE PARKING FOR RESIDENTS AND SPECIAL MILITARY LICENSE PLATES**, be amended as follows (deletions from existing language **stricken**; additions to existing language **bolded**; remaining language unchanged from existing):

Section 7.324: TIME LIMITED FREE PARKING FOR RESIDENTS AND SPECIAL MILITARY LICENSE PLATES

Residents and vehicles with special military license plates will have time limited free parking in metered spaces under the following conditions any time between 9:00 a.m. and 8:00 p.m., Monday through Saturday, and between 12:00 p.m. and 8:00 p.m. Sunday, Holidays not included:

A. FREE FIFTEEN MINUTE PARKING FOR RESIDENTS

City residents using a City approved mobile phone parking application will have free fifteen (15) minute parking per day; and

B. FREE THREE HOUR PARKING FOR SPECIAL MILITARY LICENSE PLATES

Any vehicle bearing the following special New Hampshire license plates and in use by the person qualifying for said special plates shall be entitled to free parking in metered spaces for no more than three hours each day: Veteran, Military, National Guard, Reserve, or Gold Star Family Decal. Any vehicle with license plates from another State, District or United States territory bearing substantially equivalent governmental license plates shall, provided the vehicle is in use by the person qualifying for said special license plates, likewise be entitled to no more than three hours each day of free parking in metered spaces. This exemption does not apply to parking spaces designated for electric vehicle charging.

The City Clerk shall properly alphabetize and/or re-number the ordinances as necessary in accordance with this amendment.

All ordinances or parts of ordinances inconsistent herewith are hereby

deleted. This ordinance shall take effect upon its passage.

APPROVED:

Deaglan McEachern, Mayor

ADOPTED BY COUNCIL:

Kelli L. Barnaby, City Clerk

LEGAL NOTICE

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KELLI L. BARNABY, MMC/CNHMC
PORTSMOUTH, NH CITY CLERK

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standard of 2-3 stories (40 feet) along Rock Street to the cul-de-sac at Foundry Place for City Tax Map 138 Lot 63, Tax Map 138 Lot 60-2, and Tax Map 138 Lot 60-3. The Zoning Maps to be amended are referenced in the City's Zoning Ordinance at Chapter 10, Article 4, Zoning and District Use Regulations, Section 10.421, District Location and Boundaries, Section 10.421.10 and Chapter 10, Article 5A, Character Based Zoning, Section 10.5A21.10, Content of Regulation Plan, Map 10.5A21A (Character Districts and Civic Districts) and Map 10.5A21B (Building Height Standards), collectively the "Zoning Maps". The complete Ordinance is available for review in the Office of the Portsmouth City Clerk and Portsmouth Public Library, during regular business hours.

**KELLI L. BARNABY,
MMC/CNHMC
PORTSMOUTH, NH CITY
CLERK**

ORDINANCE #
THE CITY OF PORTSMOUTH ORDAINS

That Chapter 10, ZONING ORDINANCE, CITY OF PORTSMOUTH ZONING MAP be amended as follows: rezone parcels described on the City Tax Map 125 Lot 16; Tax Map 138 Lot 61; Tax Map 138 Lot 62; and a portion of Tax Map 138 Lot 63 from Character District 5 (CD5) to Character District 4 (CD4); to rezone a portion of Tax Map 138 Lot 63 from Character District 5 (CD5) to Character District L1 (CD4-L1); to change the boundary of the North End Incentive Overlay District (NEIOD) to remove City Tax Map 138 Lot 61, Tax Map 138 Lot 60-3, and Tax Map 164 Lot 4 from the NEIOD and to amend the boundary of the Downtown Overlay District (DOD) to align with the amended NEIOD by removing City Tax Map 164 Lot 4, Tax Map 138 Lot 61, Tax Map 138 Lot 60-3 and a portion of Tax Map 138 Lot 63 from the DOD; to amend the building height map from 2-4 stories (50 feet) to 2-3 stories (40 feet) for parcels along Bridge Street to Foundry Place and along Hill Street for City Tax Map 125 Lot 16, Tax Map 138 Lot 62 and Tax Map 125 Lot 14 and to add a building height standard of 2-3 stories (40 feet) along Rock Street to the cul-de-sac at Foundry Place for City Tax Map 138 Lot 63, Tax Map 138 Lot 60-2, and Tax Map 138 Lot 60-3. The Zoning Maps to be amended are referenced in the City's Zoning Ordinance at Chapter 10, Article 4, Zoning and District Use Regulations, Section 10.421, District Location and Boundaries, Section 10.421.10 and Chapter 10, Article 5A, Character Based zoning, Section 10.5A21.10, Content of Regulation Plan, Map 10.5A21A (Character Districts and Civic Districts) and Map 10.5A21B (Building Height Standards), collectively the "Zoning Maps".

Deletions from existing language ~~stricken~~; additions to existing language **bolded**; remaining language unchanged from existing with appropriate bold and colors.

That the Zoning Maps be amended so that the following described parcels are rezoned from Character District 5 (CD5) to **Character District 4 (CD4)**:

City Tax Map 125, Lot 16

City Tax Map 138, Lot 61

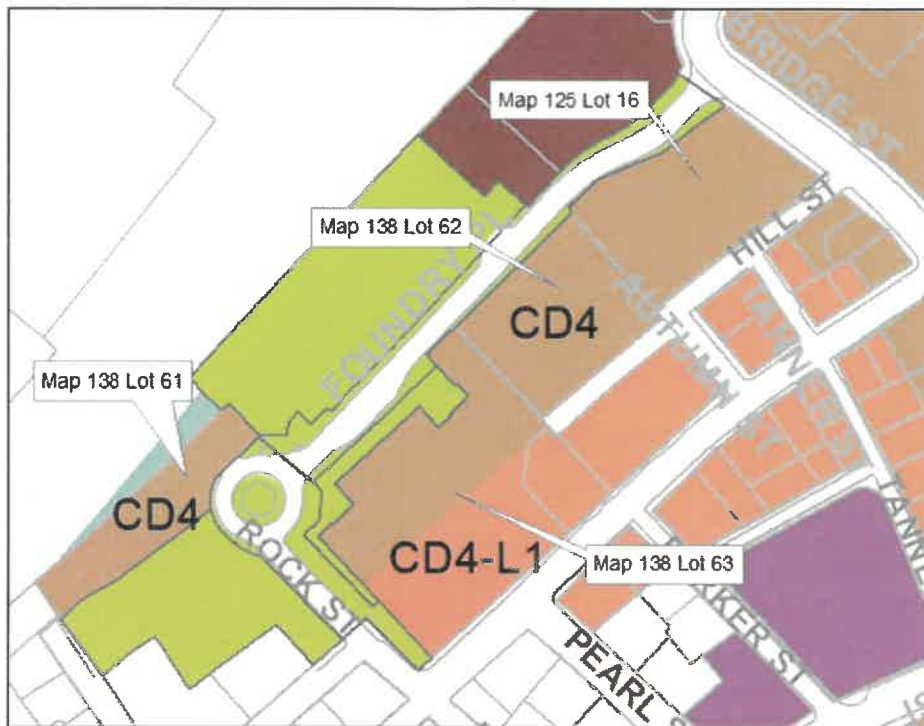
City Tax Map 138, Lot 62

City Tax Map 138, Lot 63 (portion of)

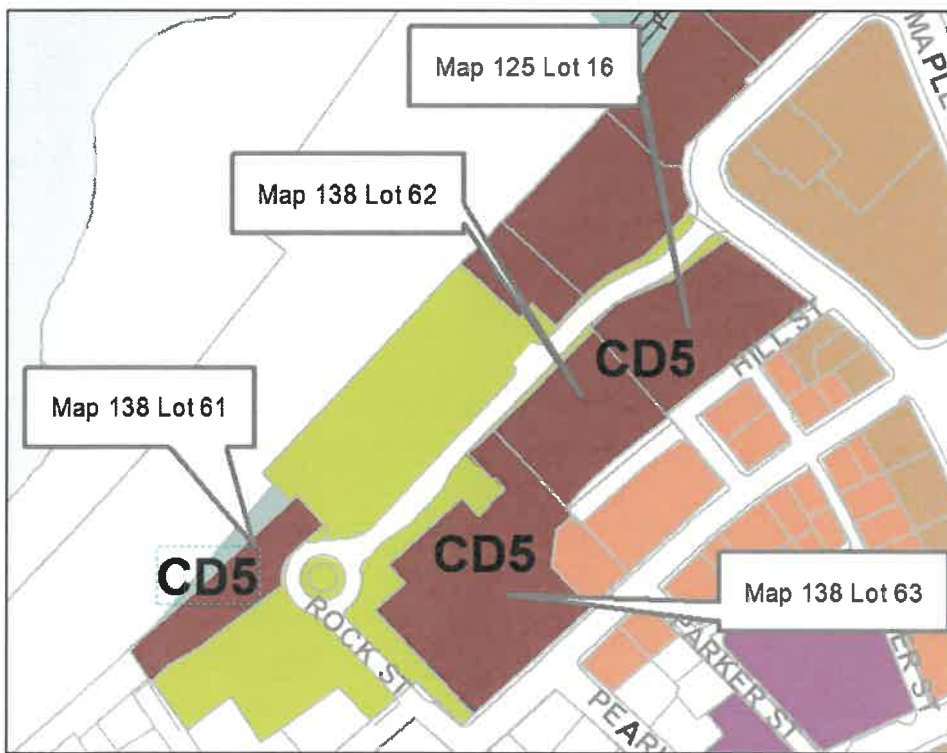
That the Zoning Maps be amended so that the following described parcel is rezoned from Character District 5 (CD5) to **Character District L1 (CD4-L1)**:

City Tax Map 138, Lot 63 (portion of)

Map 10.5A21A Character Districts and Civic Districts
Proposed



Map 10.5A21A Character Districts and Civic Districts
Existing



That the Zoning Maps be amended to change the boundary of the North End Incentive Overlay District (NEIOD) to remove the following parcels from the NEIOD as depicted in the map below:

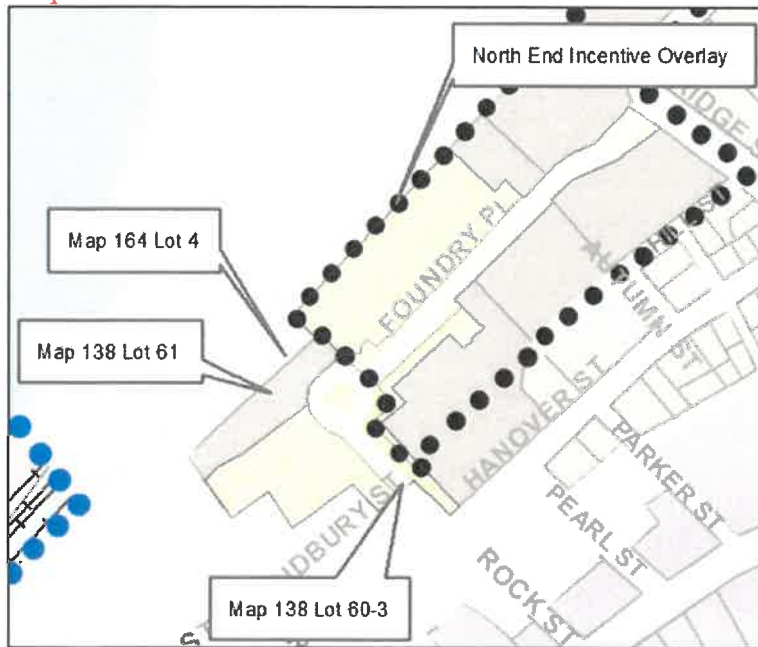
City Tax Map 138 Lot 61

City Tax Map 138 Lot 60-3

City Tax Map 164 Lot 4

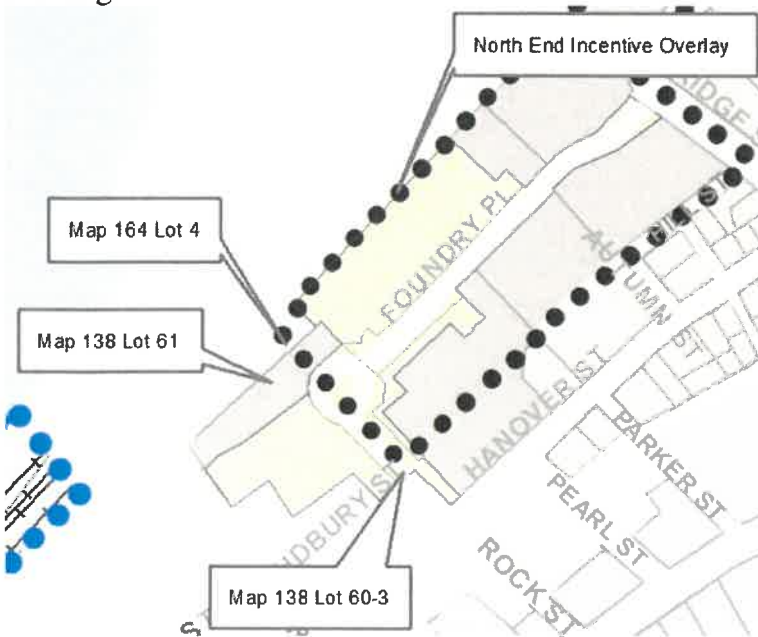
Map 10.5A21B Building Height Standards

Proposed



Map 10.5A21B Building Height Standards

Existing



That the Zoning Maps be amended to move the boundary of the Downtown Overlay District (DOD) to align with the boundary of the North End Incentive Overlay District (NEIOD) for the parcels below as described above and as depicted in the map below.

Remove from the DOD:

City Tax Map 138 Lot 61

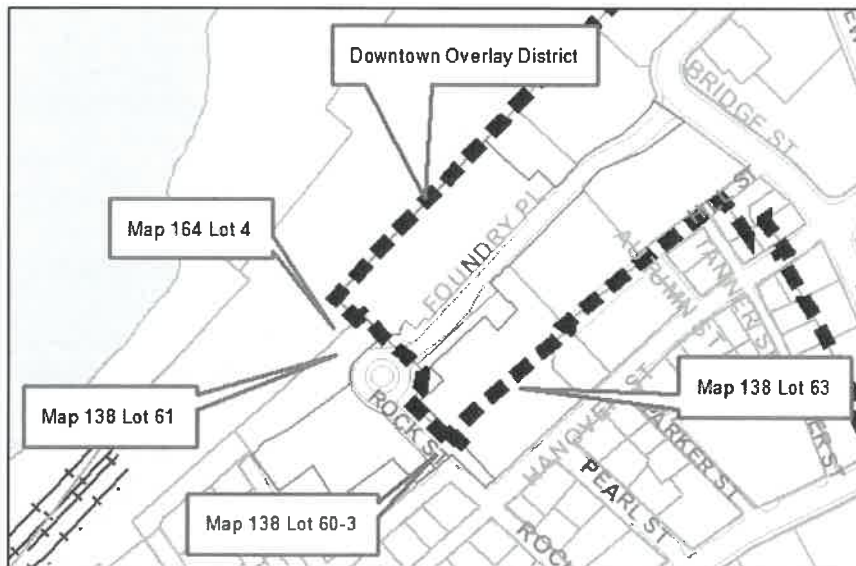
City Tax Map 138 Lot 63 (portion of)

City Tax Map 138 Lot 60-3

City Tax Map 164 Lot 4

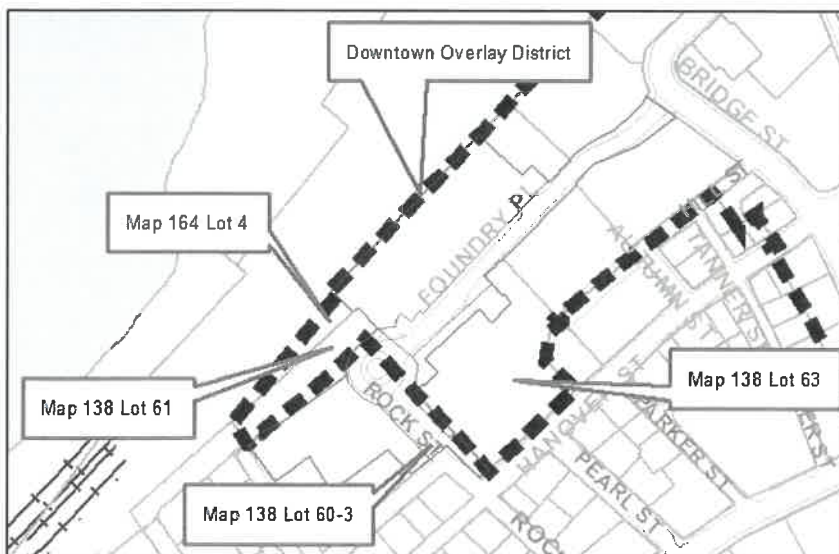
Map 10.5A21A Character Districts and Civic Districts

Proposed



Map 10.5A21A Character Districts and Civic Districts

Existing



That the Zoning Maps be amended to change the building heights from 2-4 stories (50 feet) to 2-3 stories (40) feet for the following described parcels and as depicted in the map below.

City Tax Map 125 Lot 14

City Tax Map 125, Lot 16

City Tax Map 138, Lot 62

That the Zoning Maps be amended to add a building height requirement of 2-3 stories (40) feet for the following described parcels along Rock Street to the cul-de-sac at Foundry Place as depicted in the map below.

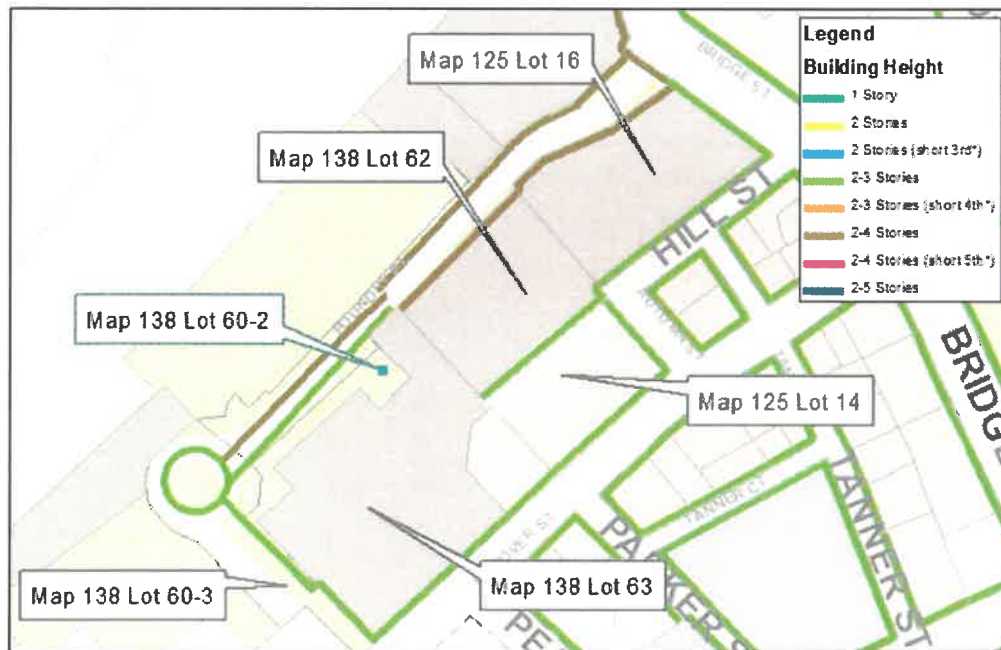
City Tax Map 138 Lot 63

City Tax Map 138 Lot 60-2

City Tax Map 138 Lot 60-3

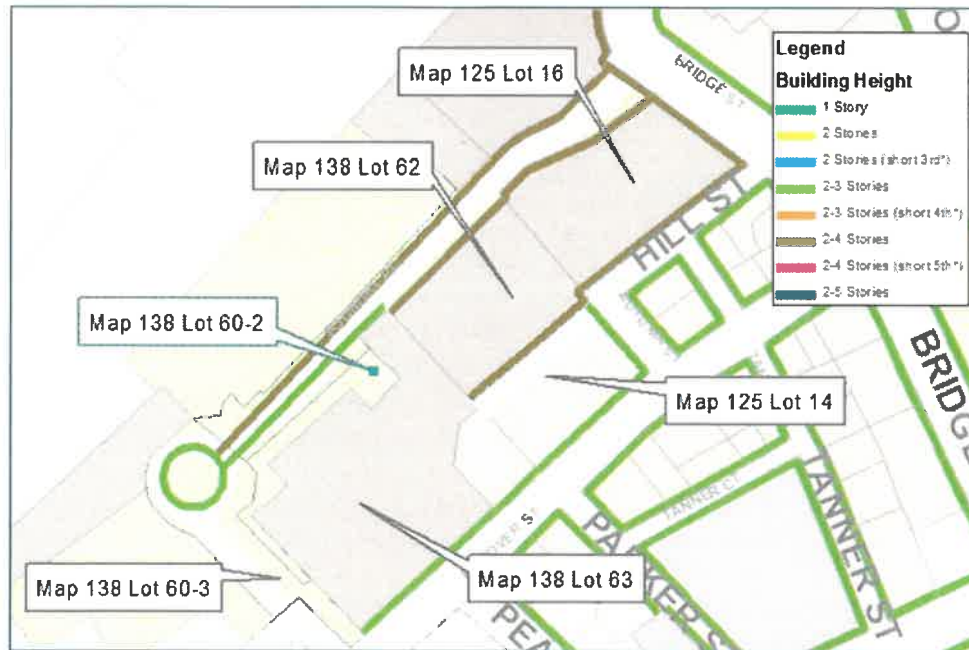
Map 10.5A21B Building Height Standards

Proposed



Map 10.5A21B Building Height Standards

Existing



The City Clerk shall properly alphabetize and/or re-number the ordinances as necessary in accordance with this amendment.

All ordinances or parts of ordinances inconsistent herewith are hereby
deleted. This ordinance shall take effect upon its passage.

APPROVED:

Deaglan McEachern, Mayor

ADOPTED BY COUNCIL:

Kelli L. Barnaby, City Clerk

MEMORANDUM

TO: Karen Conard, City Manager
FROM: Peter Stith, Planning Manager
DATE: April 30, 2025
RE: Planning Board Report Back Hanover/Hill Street Zoning

Background

The City Council voted on August 5, 2024 to refer the letter from the Islington Creek neighborhood to the Planning Board for a report back on possible zoning changes that were originally presented to the Planning Board in 2020. Below is the action from the City Council:

18. Letter from residents of Islington Creek regarding zoning of 361 Hanover Street – Voted to refer to the Planning Board for review and recommendation for the consideration of a zoning change.

Since the referral, the Planning Board has held 4 work sessions where this was discussed, September 26, 2024, October 24, 2024, February 27, 2025 and March 27, 2025. At the March 27th meeting, the Board reviewed options for rezoning several parcels along Hill, Hanover and Rock Street and changing the building height requirement along Bridge and Hill Street. In addition, the Board looked at modifying the boundary of the North End Incentive Overlay (NEIOD) and Downtown Overlay Districts (DOD). The Board placed the changes on their April 17, 2025 agenda for more discussion and a recommendation back to Council.

Staff provided the recommendation from January 2020 depicted in the map below where the front of 361 Hanover would change from CD5 to CD4-L1 and the back half and two other lots on Hill Street would change from CD5 to CD4. In addition, 66 Rock Street would change from CD5 to CD4. The main differences between CD4 and CD5 are the dimensional standards of the lot occupation by structures as provided in the table below. CD5 allows more coverage and a larger building footprint and less open space requirement where CD4 requires more open space, a slightly smaller footprint and less building coverage. There is no density (lot area per dwelling) requirement in CD4 or CD5 and the permitted uses in both districts are the same. CD4-L1 is less intense, with a max building footprint of 2,500 square feet, a density requirement of 3,000 square feet per dwelling and fewer permitted nonresidential uses. The Board considered and had general consensus on changing the zoning to CD4-W, which provides a step above CD4-L1, but not as intense as CD4 or CD5, as provided in the tables below. CD-W zoned parcels are only located in the west end and nowhere else in the City.

Dimensional Requirements

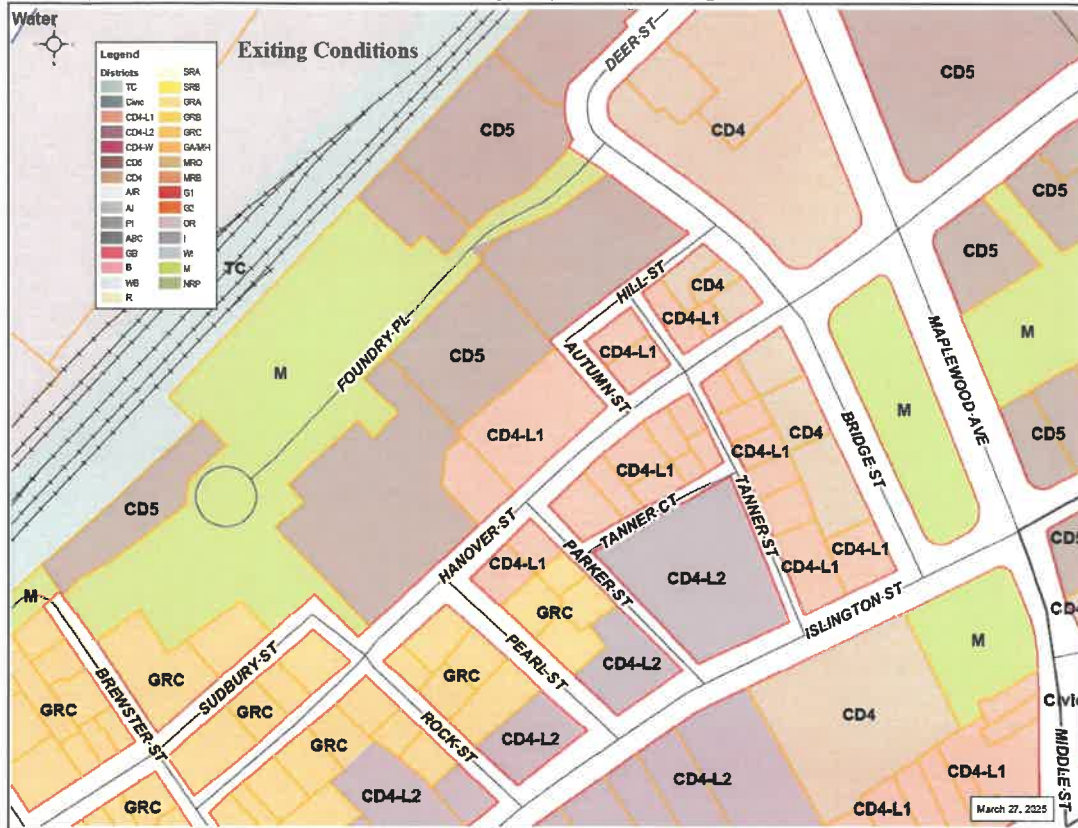
	CD5	CD4	CD4-L1	CD4-W
Yards (max.)	5'	5'-15'	5'-15'	10'-15'
Front Lot Line Buildout (min.)	80%	50%	60%-80%	50%
Building Coverage	95%	90%	60%	60%
Building Footprint	20,000 s.f.	15,000 s.f.	2,500 s.f.	15,000 s.f.
Building Block Length	225'	200'	80'	200'
Open Space (min.)	5%	10%	25%	15%
Lot area per dwelling unit	NR	NR	3,000 s.f.	2,500 s.f.

Use Categories

	CD5/CD4	CD4-L1	CD4-W
Residential (up to 8 units)	P	P	P
Residential (8+ units)	P	N	P
Assisted Living Center	P	N	P
Performance Facility	P/S	N	S/N
Cinema or other indoor amusement use	P	N	P
Health club/related use	P/S	S/N	P/S
Office	P	P	P
Retail bank	P	N	P
Outpatient clinic	P	S	P
Personal/consumer services	P	N	P
Laundry / dry cleaning	P/S	N	P
Retail	P	N	P/S
Eating/drinking places	P(500)/S(500+)	N	P(50)/S(250)

P = Permitted, S = Special Exception, N = Not Permitted. Numbers represent occupancy maximums.

Existing zoning map below shows the subject parcels zoning CD5.



Proposed Zoning DRAFT

Legend

Zoning Districts	Color
F1	Grey
TC	Light Blue
CW6	Dark Blue
CD4-L1	Light Green
CD4-L2	Light Yellow
CD4-W	Dark Green
CD5	Dark Brown
CD4	Light Brown
AIR	Light Grey
A1	Dark Grey
G/MH	Orange
MRO	Light Orange
MRB	Dark Orange
G1	Red
G2	Dark Red
OR	Light Purple
W1	Dark Purple
M	Light Green
NRP	Dark Green
GRB	Light Green
ORC	Dark Green

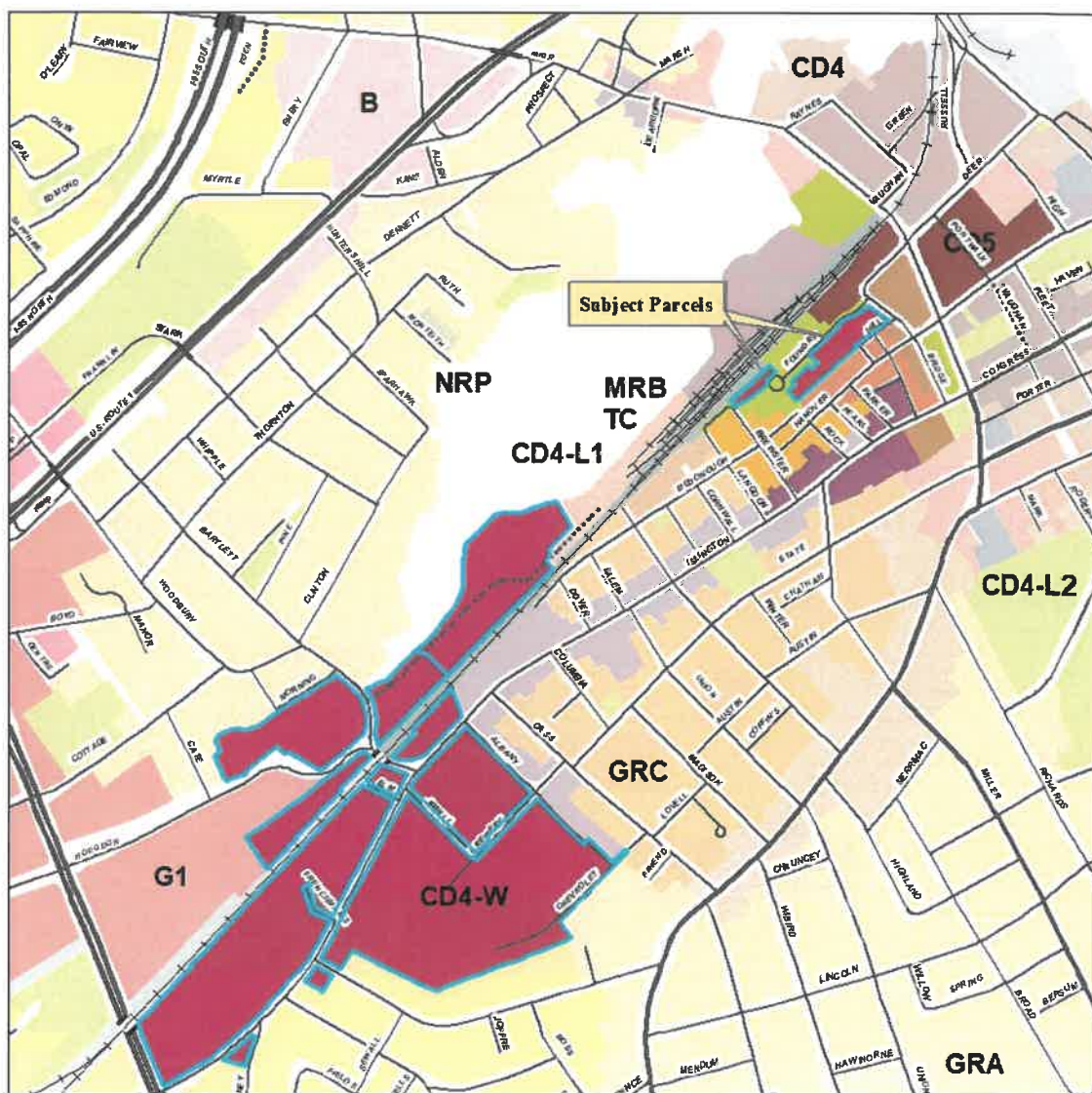
Rezoning Callouts:

- Rezoning 126 Bridge St. from CD5 to CD4
- Rezoning rear of 361 Hanover from CD5 to CD4
- Rezoning 89 Foundry from CD5 to CD4
- Rezoning front half of 361 Hanover from CD5 to CD4-L1

Map Labels: DEER ST, MAPLEWOOD AVE, HANOVER, BRIDGE ST, BRIDGE, ISLINGTON, TANNER, PARKER, PEARL, PEARL-ST, ROCK, ROCK-ST, MCDONOUGH, LANGDON, FOUNDRY PL, CD4, CD4-L1, CD4-L2, CD4-W, CD5, CD4, AIR, A1, G/MH, MRO, MRB, G1, G2, OR, W1, M, NRP, GRB, ORC.

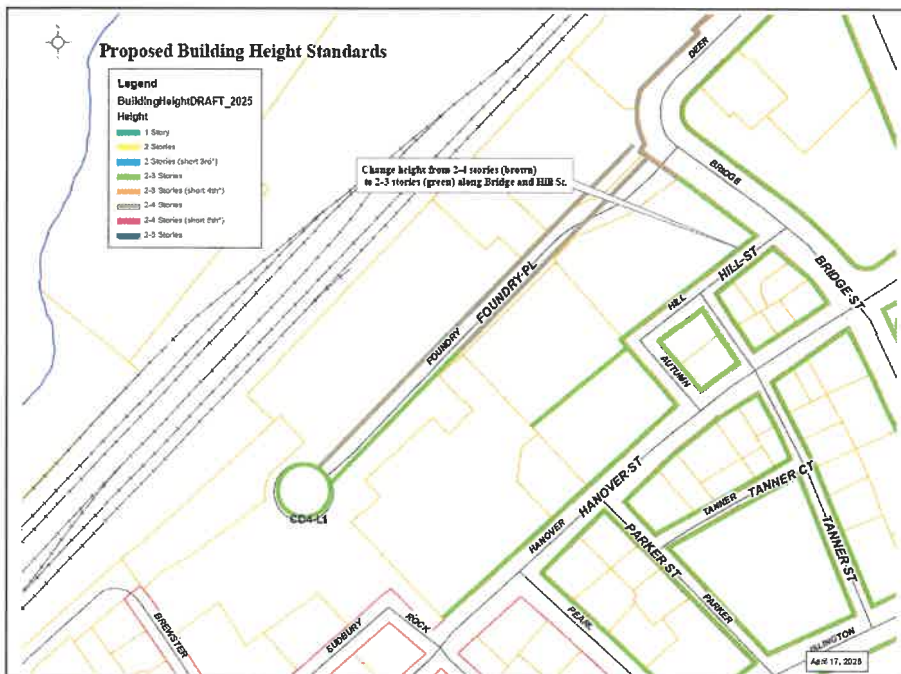
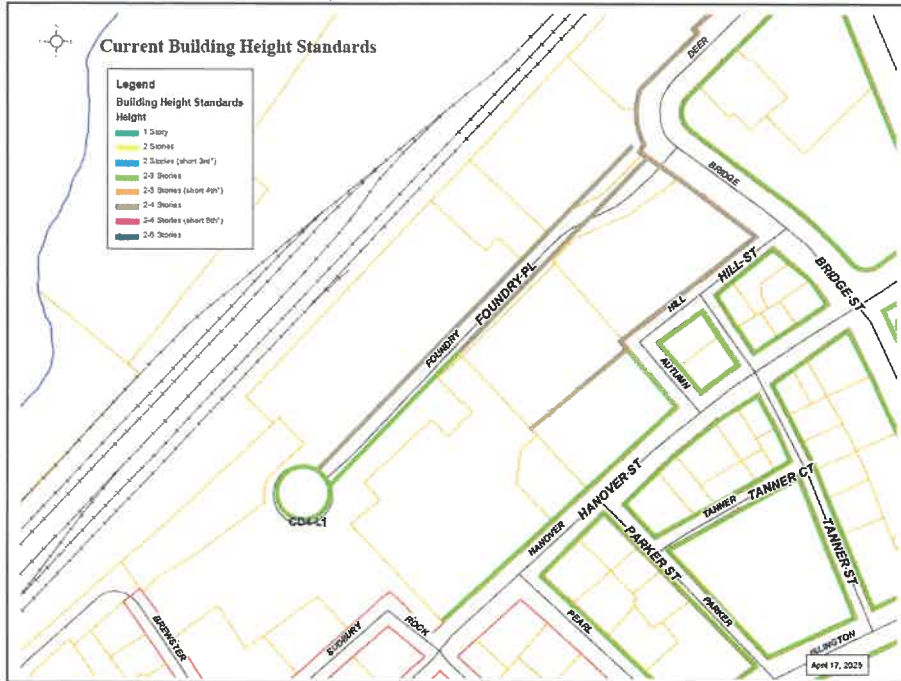


The map above represents the consensus the Board had at the March 27, 2025 work session and was presented at their April 17, 2025 meeting which changes the subject parcels to CD4-W with the exception of the front of 361 Hanover, which would change to CD4-L1. The only area zoned CD4-W is the West End. The map below shows the current CD4-W zone and includes the subject parcels on Hanover and Hill Street if they were changed to CD4-W. While staff can agree with some of the logic for choosing this district, downzoning some of these parcels will make them nonconforming. For example, 89 Foundry contains a building with a footprint of over 16,000 square foot and 55 apartments on a 22,538 square foot lot. The current zoning allows for this footprint and density. Changing to CD4-W, the building footprint, coverage, open space and lot area per dwelling would all be nonconforming. The project at 361 Hanover will also be nonconforming for lot area per dwelling and building footprint if downzoned to CD4-W. ***Staff would recommend the original proposal that was presented in 2020 with the additional change to 66 Rock Street.***



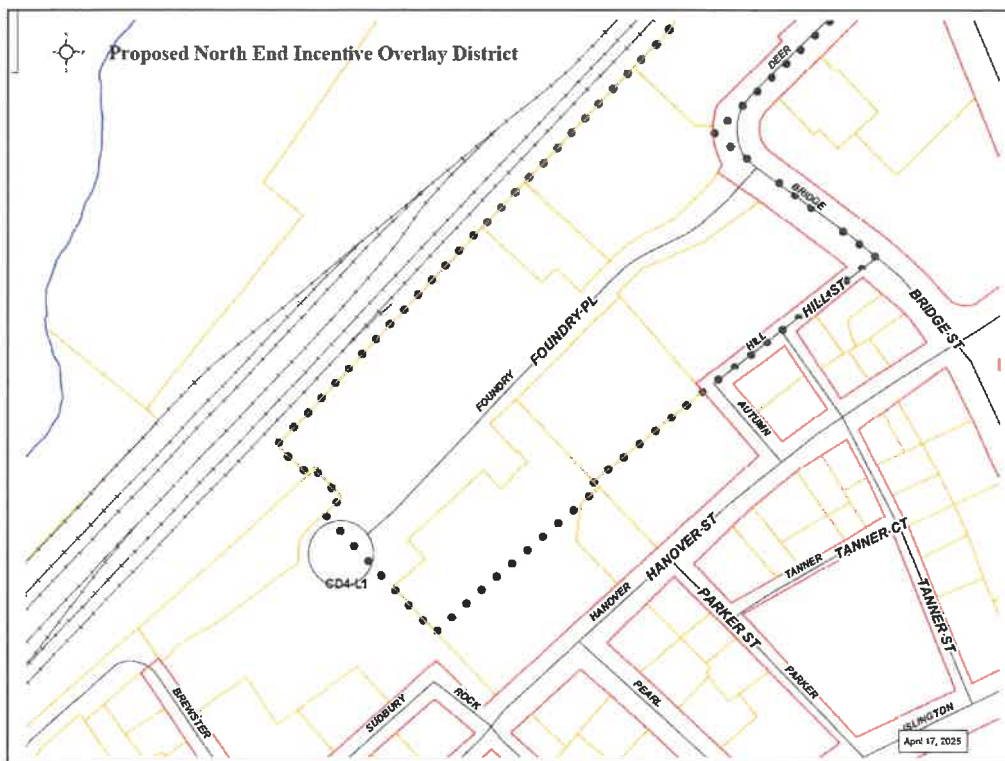
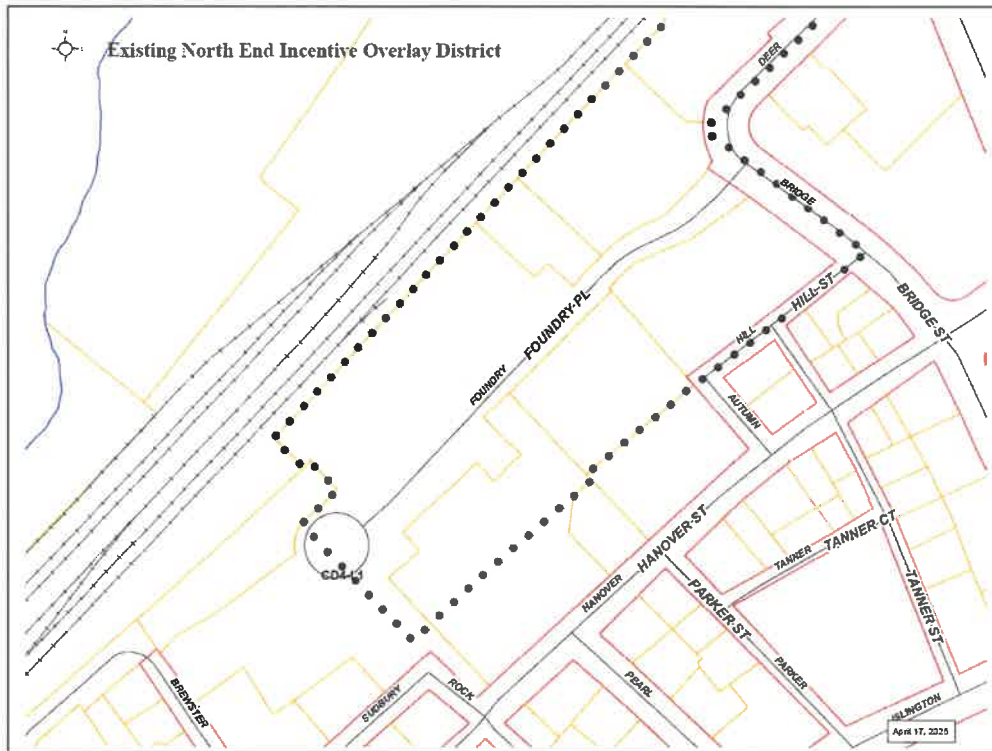
Building Height

The map below shows the current building height standards which allow 2-4 stories (50') along the south side of Bridge Street and down Hill Street. The Planning Board agreed at their March 27, 2025 work session to change the designation to 2-3 stories (40'), which is indicated by the green line. The properties that are located in the North End Incentive Overlay District would still be able to increase the building height by 10' or 1-story about the maximum, subject to the requirements of the overlay district.



North End Incentive Overlay District (NEIOD)

Minor changes are proposed to the boundary of the NEIOD to better align with lot lines along 361 Hanover Street and 66 Rock Street.

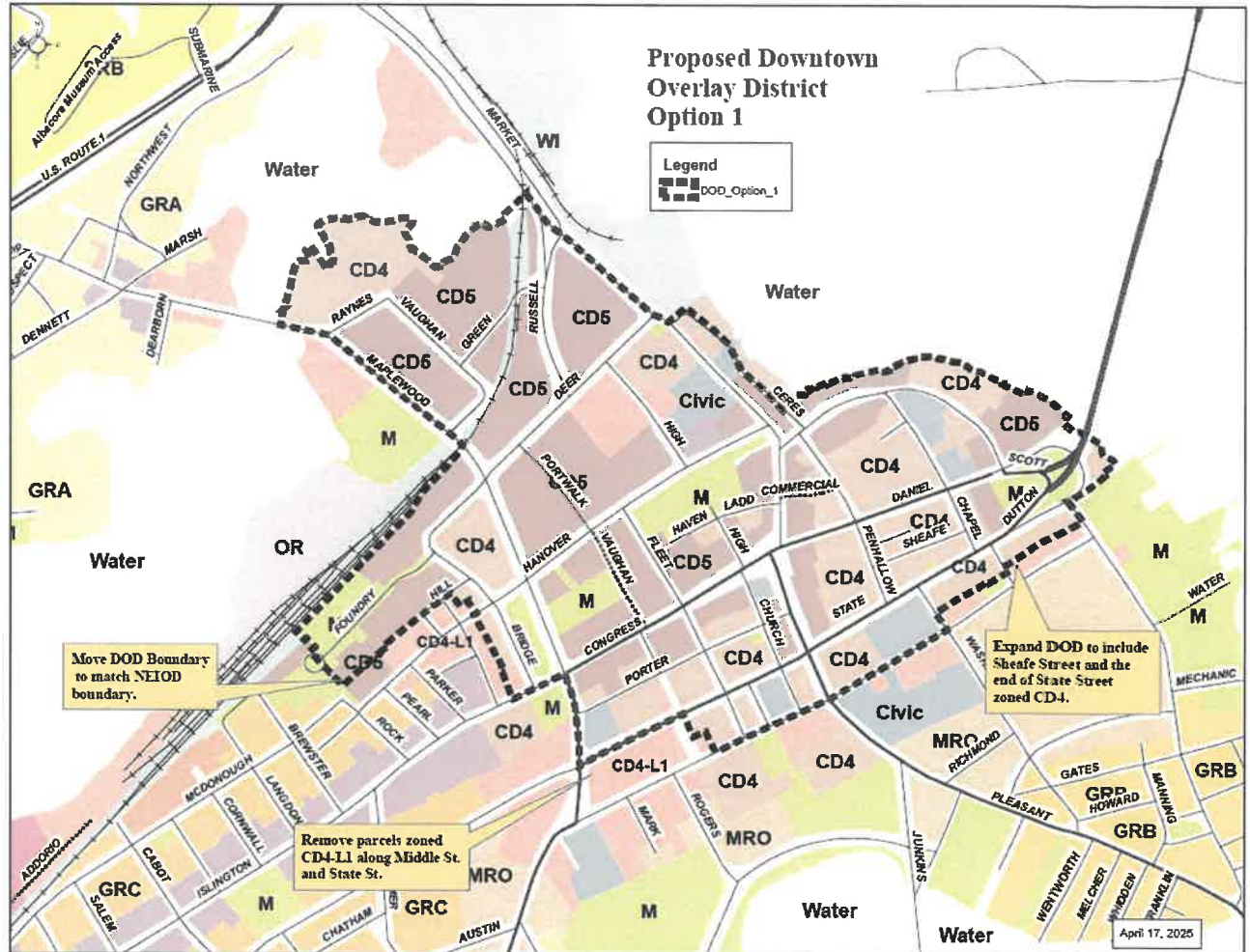


While the Board has been discussing zoning changes along Hill and Hanover Street, this included revising the boundary of the Downtown Overlay District (DOD) to follow the North End Incentive Overlay District. Below shows the current DOD boundary for reference when reviewing the two options that were discussed at the work session. The Board considered modifying the DOD boundary in other areas and below are 2 options the Board requested to see following the work session.

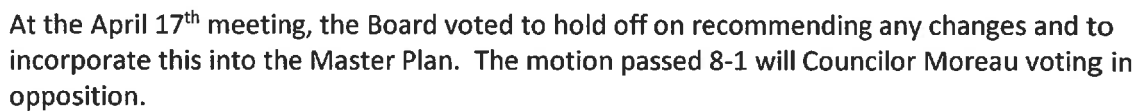


Option 1

Option 1 is outlined in the map below and moves the DOD boundary on 361 Hanover to match the North End Incentive boundary that bisects that parcel. Option 1 includes removing parcels zoned CD4-L1 along Middle Street and State Street and incorporating 2 parcels and a portion of a parcel on Court Street that are zoned CD4. The largest adjustment to the DOD includes moving the boundary to include Sheafe Street and the parcels fronting on State Street that are zoned CD4.



Option 2 is outlined in the map below and incorporates all of the changes outlined in The Option 1 map above with the addition of capturing the corner of Court Street and Pleasant Street including the Citizens Bank property.



I would recommend the City Council put the letter on file and addressed during the Master Plan process.



Karen S. Conard
City Manager

CITY OF PORTSMOUTH

Municipal Complex
1 Junkins Avenue
Portsmouth, New Hampshire 03801
kconard@portsmouthnh.gov
(603) 610-7201

Date: July 10, 2025

To: Honorable Mayor McEachern and City Council Members

From: Karen S. Conard, City Manager *KSC*

Re: City Manager's Comments on City Council Agenda of July 14, 2025

X. Public Hearings and Vote on Ordinances and/or Resolutions:

A. Reopen Public Hearing – Highway Layout of Coakley Road Extension:

At the June 9, 2025 City Council meeting, the City Council voted to schedule a public hearing to consider the layout of a new highway connecting Borthwick Avenue to Coakley Road. This new roadway would support a larger traffic improvement initiative and anticipated roadwork on Coakley Road and along the Route 1 Bypass, particularly between Borthwick Avenue and the Portsmouth Traffic Circle.

The proposed roadway will cross property occupied by the Fairfield Inn and the Granite Group Plumbing Supply, and is depicted on [the plan attached as Exhibit A](#). Design Plans for the project, currently at the 60 percent stage, are [included as Exhibit B](#).

To reduce long-standing congestion and address safety concerns in this area, the City has secured federal funding and is coordinating with the New Hampshire Department of Transportation on a project to eliminate the traffic signal at the intersection of Route 1 Bypass, Coakley Road, and Cottage Street. The plan calls for extending the median island on the Bypass to block left turns to and from Coakley Road and Cottage Street.

To implement these traffic changes safely and effectively, the City must create a new connector road between Coakley Road and Borthwick Avenue. This connector will allow residents and businesses along Coakley Road to reach the signalized intersection at Borthwick Avenue, preserving access to the Traffic Circle and points beyond.

The connector roadway will also provide improved access to the abutting businesses and neighborhood, allowing access from Coakley Road and Borthwick Avenue and providing direct connection to the multiuse path along Borthwick Avenue.

The Planning Board considered this matter and recommended that the City Council acquire the roadway and easements necessary to complete the Coakley Road Extension Project. [Their memorandum is attached as Exhibit C](#).

If the City Council finds there is occasion to layout the roadway depicted on Exhibit A, [a draft resolution is included as Exhibit D](#) for the City Council's consideration.

I recommend that the City Council move to approve the Resolution regarding public necessity to acquire property for the layout of the Coakley Road Connector as drafted.

B. Resolution Authorizing a Bond Issue and/or Notes of the City under the Municipal Finance Act of Up to Four Million One Hundred and Fifty Thousand Dollars (\$4,150,000) for Costs Related to School Facilities Capital Improvements, Elementary School Upgrade, and Elementary Schools Playground Upgrade:

The Public Hearing on the proposed Resolution authorizing \$4,150,000 for costs related to FY26 School Projects will take place at the August 4, 2025 City Council meeting.

C. Public Hearing and Second Reading of Ordinance Amending Chapter 7, Vehicles, Traffic and Parking, Article III, Traffic Ordinance, Section 7.324: Time Limited Free Parking for Residents and Special Military License Plates, (A) Free Fifteen Minute Parking for Residents, and (B) Free Three-Hour Parking for Special Military License Plates:

First Reading of Ordinance Amendments to Chapter 7, Vehicles, Traffic and Parking, Article III, Traffic Ordinance, Sections 7.324 and 7.326 were presented at the City Council meeting on May 19, 2025. The ordinance amendments converted existing 15 minute metered parking spaces in the downtown to free 30 minute resident parking. Two ordinance sections amendments were brought forward for first reading to achieve that purpose (amendment to Section 7.324 created free 30 minute resident parking spaces and an amendment to Chapter 7, Article III, Section 7.326 removed those 15 minutes parking space metered spaces that would be converted to free 30 minute resident parking). The Council voted at first reading to table any amendments to Section 7.326 (15 minute parking spaces) and made two amendments to Section 7.324. The first amendment created free fifteen minute resident parking per day for residents using an approved mobile phone parking application. The second amendment created free three hour parking in metered spaces (except for electric vehicle charging spaces) for special military license plates that include Veteran, Military, National Guard, Reserve, or Gold Star Family. [The ordinance as amended](#) is scheduled for public hearing and second reading this evening.

I recommend that the City Council move to pass second reading and schedule third and final reading of amendments to Chapter 7, Article III, Section 7.324 at the August 4, 2025 City Council meeting.

- D. **Public Hearing and Second Reading of Ordinance Regarding Chapter 10, Zoning Ordinance, City of Portsmouth Zoning Map be amended as follows: Rezone Parcels Described on the City Tax Map 125 Lot 16; Tax Map 138 Lot 61; Tax Map 138 Lot 62; and a portion of Tax Map 138 Lot 63 from Character District 5 (CD5) to Character District 4 (CD4); to Rezone a portion of Tax Map 138 Lot 63 from Character District 5 (CD5) to Character District L1 (CD4-L1); to change the Boundary of the North End Incentive Overlay District (NEIOD) to remove City Tax Map 138 Lot 61, Tax Map 138 Lot 60-3, and Tax Map 164 Lot 4 from the NEIOD and to Amend the Boundary of the Downtown Overlay District (DOD) to align with the amended NEIOD by removing City Tax Map 164 Lot 4, Tax Map 138 Lot 61, Tax Map 138 Lot 60-3 and a portion of Tax Map 138 Lot 63 from the DOD; to amend the Building Height Map from 2-4 stories (50 Feet) to 2-3 stories (40 feet) for parcels along Bridge Street to Foundry Place and along Hill Street for City Tax Map 125 Lot 16, Tax Map 138 Lot 62 and Tax Map 125 Lot 14 and to add a Building Height Standard of 2-3 stories (40 feet) along Rock Street to the Cul-De-Sac at Foundry Place for City Tax Map 138 Lot 63, Tax Map 138 Lot 60-2, and Tax Map 138 Lot 60-3. The Zoning Maps to be amended are referenced in the City's Zoning Ordinance at Chapter 10, Article 4, Zoning and District Use Regulations, Section 10.421, District Location and Boundaries, Section 10.421.10 and Chapter 10, Article 5A, Character Based Zoning, Section 10.5A21.10, Content of Regulation Plan, Map 10.5A21A (Character Districts and Civic Districts) and Map 10.5A21B (Building Height Standards), Collectively the "Zoning Maps":**

The City Council held first reading on proposed changes to the Zoning Map, Building Height Map, and align the North End Incentive Overlay District and Downtown Overlay District boundaries at the May 19, 2025 City Council meeting. Attached in the packet for first reading and for second reading which was held on June 9, 2025, was [a staff report back memorandum regarding the Planning Board's recommendation to the Council from their April 17th meeting](#), which recommended these changes be taken under consideration through the Master Plan process. [This report back and accompanying documentation from the Planning Board are included in your packet for tonight's meeting.](#) At second reading on June 9, 2025, the Council amended the ordinance to change the lots that are currently CD5 and originally proposed to be changed to CD4W to be changed to CD4 only. This amendment required a newly noticed public hearing and second, second reading scheduled for today's July 14, 2025 City Council meeting. [The amended ordinance](#) is included in your packet for Council's consideration this evening.

I recommend that the City Council move to pass second reading and hold a third and final reading at the August 4, 2025 City Council meeting.

XI. City Manager's Items Which Require Action:

1. Acceptance and Approval of Tentative Agreement with the Association of Portsmouth School Administrators:

Attached please find a memorandum from the City's Labor Negotiator, Tom Closson, regarding a proposed tentative agreement with the Association of Portsmouth School Administrators.

I recommend that the City Council move to accept and approve the proposed agreement as presented.

2. Acceptance and Approval of Tentative Agreement with the Portsmouth Association of Clerical Employees:

Attached please find a memorandum from the City's Labor Negotiator, Tom Closson, regarding a proposed tentative agreement with the Portsmouth Association of Clerical Employees.

I recommend that the City Council move to accept and approve the proposed agreement as presented.

3. Acceptance and Approval of Tentative Agreement with the Portsmouth Supervisory Management Alliance:

Attached please find a memorandum from the City's Labor Negotiator, Tom Closson, regarding a proposed tentative agreement with the Portsmouth Supervisory Management Alliance.

I recommend that the City Council move to accept and approve the proposed agreement as presented.

XIII. Presentations and Written Communications:

A. Presentation on South Mill Pond Playground Project Design from Ultiplay Parks & Playgrounds – Todd Henley, Recreation Director and Chris Martin, Ultiplay:

Recreation Director Todd Henley will provide an informational presentation regarding the South Mill Pond Playground Project. Chris Martin, representative from the vendor, Ultiplay, will also be present.

XVII. City Manager's Informational Items:

1. Public Safety Update – Police Chief Newport:

Police Chief Mark Newport will provide the City Council and members of the public with an update regarding public safety.

2. Proposed Timeline for Fall 2025 CIP Process:

Attached please find a memorandum from Deputy City Manager – Finance and Administration Lunney regarding a proposed timeline for the 2025 CIP process this Fall.

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Thomas.closson@nhlaborlaw.com

To: City Manager Conard, Mayor McEachern, Members Of The
Portsmouth City Council
CC: Superintendent Dr. Zachary McLaughlin
Human Resources Director Kelly Harper
From: Tom Closson
Date: June 17, 2025
Re: Proposed Four (4) Year CBA With The Association Of Portsmouth
School Administrators

The Portsmouth School Board's negotiating team has reached a tentative agreement ("TA") on a four (4) year successor collective bargaining agreement with the Association of Portsmouth School Administrators ("the Union"). A copy of the TA is attached. The TA is consistent with the City Council's guidance on COLAs and health insurance premiums. Both the Union and the School Board have voted to ratify the TA. I am pleased to recommend it to you.

**PORTSMOUTH SCHOOL BOARD
AND
ASSOCIATION OF PORTSMOUTH SCHOOL
ADMINISTRATORS**

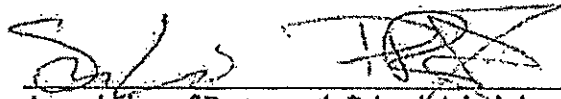
TENTATIVE AGREEMENT

June 3, 2025


<u>ARTICLE</u>	<u>PROPOSAL</u>
Article III (Longevity)	Continue to adjust annually by the same COLA as applied to salaries per BOE #3 below.
Article VI (Sick Leave), Section 6.9	Reduce duration of benefit continuation from five (5) years to two (2) years. Add attached sick bank language.
Article XVII (Salaries)	July 1, 2025 – 2.84% COLA to base wage rates. On July 1, 2026, July 1, 2027, and July 1, 2028, a COLA percentage increase will be applied to base wages. The COLA percentage increase will be the ten-year rolling average of the annual CPI-U for the Boston-Cambridge-Newton—all items index as computed by the Bureau of Labor Statistics of the U.S. Department of Labor for November to November. The reference base is 1982-1984 equals 100 until BLS updates the reference base at which time the parties agree to adopt the official reference based as used by BLS. Further, the July 1, 2026 and July 1, 2027 COLA percentage increases will have a floor of 3.0% and a cap of 5.0%; and the July 1, 2028 COLA percentage increase will have a floor of 2.0% and a cap of 5.0%.
Article XVIII (Health Insurance)	July 1, 2025 – premium cost share 93%/7% July 1, 2026 – premium cost share 92%/8% July 1, 2027 – premium cost share 91%/9% July 1, 2028 – premium cost share 91%/9%
Article XVIII (Health Insurance)	Add the following language: The City may change health insurance plans if SchoolCare ends its coverage and/or services. The Union further understands and agrees that the City is providing health insurance coverage subject to all contractual limitations and exclusions imposed on either the City or individual subscribers by the insurance carrier or

	SchoolCare, including any contractual right of the carrier or SchoolCare to modify coverage, including prescription drug coverage, during the term of this Agreement.
Article XIX (Non-Discrimination)	Add "protective hairstyles."
Article XXII (Duration) (and elsewhere in the CBA as applicable).	Adjust to reflect a duration from July 1, 2025, to June 30, 2029.

June 3, 2025


 Association of Portsmouth School Administrators

June 3, 2025


 Portsmouth School Board

Supplemental sick leave requests should be made for only emergent, serious, or life-threatening illnesses, injuries, impairments, or mental or physical conditions that have caused, or are likely to cause the employee to take leave without pay, provided appropriate medical information is provided. Requests for supplemental sick leave shall be made to the Human Resources Department after all accrued sick leave is exhausted. An employee is on active status when on supplemental sick leave.

Members of this unit may voluntarily donate up to 5 days of accrued sick leave annually September 30th of each year of this contract. The use of this time is administered by the conditions described above. The sick bank will be capped at 100 days, and may be rolled over annually. The withdrawal of supplemental sick leave is capped at 60 days per individual, per year.

City of Portsmouth
Estimate of Negotiated Cost Items

PORTSMOUTH ASSOCIATION OF SCHOOL ADMINISTRATORS - 6/3/25

NH Retirement Rate	19.64%	19.23%	19.23%	19.23%	19.23%
FICA Rate	7.65%	7.65%	7.65%	7.65%	7.65%
COLA Rate		2.84%	3.00%	3.00%	2.00%

CURRENT CONTRACT - ADMIN GROSS BUDGET (NO STEPS/NO COLA)

	FY25 Base	FY26	FY27	FY28	FY29	Projected 3-Yr Total
Salary	\$2,210,457	\$2,210,457	\$2,210,457	\$2,210,457	\$2,210,457	\$11,052,285
Advanced degree	\$241,558	\$241,558	\$241,558	\$241,558	\$241,558	\$1,207,790
Longevity	\$41,405	\$41,405	\$41,405	\$41,405	\$41,405	\$207,025
Extra Days	\$19,191	\$19,191	\$19,191	\$19,191	\$19,191	\$95,955
NH Retirement	\$493,477	\$483,175	\$483,175	\$483,175	\$483,175	\$2,426,177
FICA	\$60,866	\$60,078	\$60,078	\$60,078	\$60,078	\$301,176
	\$3,066,954	\$3,055,864	\$3,055,864	\$3,055,864	\$3,055,864	\$15,290,409

Year to Year CURRENT Gross Budget Change	-\$11,090	\$0	\$0	\$0
% change	-0.36%	0.00%	0.00%	0.00%

-\$11,090	Total Year to Year Increase
-0.36%	Change FY25 to FY29
-0.09%	Avg % Change per year

PROPOSED TENTATIVE AGREEMENT - ADMIN GROSS BUDGET

	FY25 Base	FY26	FY27	FY28	FY29	Projected 3-Yr Total
Salary	\$2,210,457	\$2,273,234	\$2,341,431	\$2,411,674	\$2,459,907	\$11,696,703
Advanced degree	\$241,558	\$248,418	\$255,871	\$263,547	\$268,818	\$1,278,212
Longevity	\$41,405	\$42,581	\$46,409	\$53,038	\$54,099	\$237,532
Extra Days	\$19,191	\$19,735	\$20,327	\$21,136	\$21,561	\$101,950
NH Retirement	\$493,477	\$496,897	\$512,295	\$528,709	\$539,283	\$2,570,660
FICA	\$60,866	\$61,784	\$63,870	\$66,282	\$67,608	\$320,409
	\$3,066,954	\$3,142,649	\$3,240,202	\$3,344,386	\$3,411,276	\$16,205,466

Year to Year CURRENT Gross Budget Change	\$75,695	\$97,554	\$104,183	\$66,890
% change	2.47%	3.10%	3.22%	2.00%

\$344,322	Total Year to Year Increase
10.79%	Change FY25 to FY29
2.70%	Avg % Change per year

BREAKDOWN OF TENTATIVE AGREEMENT COST OVER "CURRENT" GROSS BUDGET

Year to Year Change Over Prior Year Base

	FY25 Base	FY26	FY27	FY28	FY29	Projected 3-Yr Total
Salary		\$62,777	\$130,974	\$201,217	\$249,450	\$644,418
Advanced degree		\$6,860	\$14,313	\$21,989	\$27,260	\$70,422
Longevity		\$1,176	\$5,004	\$11,633	\$12,694	\$30,507
Extra Days		\$544	\$1,136	\$1,945	\$2,370	\$5,995
NH Retirement		\$13,722	\$29,119	\$45,534	\$56,108	\$144,483
FICA		\$1,706	\$3,792	\$6,204	\$7,530	\$19,233
		\$86,785	\$184,339	\$288,522	\$355,412	\$915,058

Year to Year CURRENT Gross Budget Change	\$86,785	\$97,554	\$104,183	\$66,890
% change	2.83%	3.10%	3.22%	2.00%

\$355,412	Total Year to Year Increase
11.15%	Change FY25 to FY29
2.79%	Avg % Change per year

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To: City Manager Conard, Mayor McEachern, Members Of The
Portsmouth City Council
CC: Superintendent Dr. Zachary McLaughlin
Human Resources Director Kelly Harper
From: Tom Closson
Date: June 17, 2025
Re: Proposed Three (3) Year CBA With The Portsmouth Association Of
Clerical Employees

The Portsmouth School Board's negotiating team has reached a tentative agreement ("TA") on a three (3) year successor collective bargaining agreement with the Portsmouth Association of Clerical Employees ("the Union"). A copy of the TA is attached. The TA is consistent with the City Council's guidance on COLAs and health insurance premiums. The TA also includes a new step at the top of the wage schedule in the final year of the CBA. Both the Union and the School Board have voted to ratify the TA. I am pleased to recommend it to you.

**PORTSMOUTH SCHOOL DISTRICT
AND
PORTSMOUTH ASSOCIATION OF CLERICAL EMPLOYEES**

**TENTATIVE AGREEMENT
JUNE 5, 2025**

<u>SECTION</u>	<u>CHANGE</u>
Housekeeping	Update Table of Contents Update Appendices Correct grammatical/spelling errors mutually agreed to by the parties including the following typos: TOC – “Senority” to “Seniority” TOC – “Umemployment” to “Unemployment” Section 1 - “representative” to “representatives” Section 15 - “design” to “designee”
Cover; Section 46 (Duration); and elsewhere in the CBA as applicable	Change to reflect a successor CBA with a duration from <u>July 1, 2025 to June 30, 2028.</u>
Section 1 (Recognition)	At the end of the first paragraph, add “ <u>...excluding Portsmouth SAU central office clerical staff</u> ” [The parties will file the requisite modification petition with the NH PELRB to effectuate this change] At the end of the second paragraph, change “NEA/NH” to “ <u>PACE/NEA/NH</u> ”
Section 8 (Probation)	Set probationary period to 180 days in all cases and strike “ Carrier requires a two (2) week lead time prior to the first of the month. ”
Section 9 (Categories)	Change Category B to the attached Union proposed language – <u>see</u> the attached <u>Tab #1.</u>
Section 11 (Vacation)	Change to “ <u>Employees will begin accrual on their date of hire.</u> ”
Section 14 (Evaluations) and Section 16 (Disciplinary Procedures)	Adopt the Union’s proposed language – <u>see</u> the attached <u>Tab #2.</u>

Section 20 (Hours of Work)	Adopt the Union's proposed language as modified – <u>see the attached Tab #3.</u>
Section 31 (Health Insurance)	Change Employee premium contributions to: 7/1/2025 – 7.25% (Yellow Open) 7/1/2026 – 8.0% (Yellow Open) 7/1/2027 – 9.0% (Yellow Open)
Section 34 (Life Insurance)	Change "...the certificate schedule attached as Amendment #1 to this Agreement" to "...the terms of the applicable policy of insurance."
Section 39 (Substitute Calling/Cell Phone Usage)	Replace current language with the following: <u>"The School District will provide the two (2) PACE employees who occasionally use their personal cell phones for calling/texting to arrange for substitute coverage with District cell phones to be used to perform this task."</u>
Section 41 (Job Bidding)	Clarify that stated periods are "workdays."
Section 44 (Hourly Rate Scale)	Eliminate outdated language implementing terms of last CBA. July 1, 2025 – Eliminate the requirement that an employee have at least three (3) years of employment with the District before advancing to Step 6; increase the wage schedule by 2.84%; and grant all eligible employees a one (1) Step increase. July 1, 2026 – Increase the wage schedule by the City's standard COLA (Rolling Average CPI-U - 3% - 5%) and grant all eligible employees a one (1) Step increase. July 1, 2027 – Increase the wage schedule by the City's standard COLA (Rolling Average CPI-U – 2% - 5%); add a new Step 7 at 2.0% above Step 6 and grant all eligible employees a one (1) Step increase. Adjust corresponding dates as necessary.
Section 45 (Copies of Agreement)	Modify to read as follows: "All new employees shall be provided with a copy of this Working Agreement and all appendices at the District's expense. <u>Existing employees shall be provided a link to the new Agreement no later than thirty (30) working days after the signing of this Agreement.</u> "
Section 49 (Non-Discrimination Policy)	Remove reference to City policy and instead link to School District policy. Add "protective hairstyles."

Dated: June 5, 2025

Nicole Argraves
Portsmouth Association Of Clerical Employees.

Dated: June 5, 2025

[Signature]
Portsmouth School District

SECTION #9: CATEGORIES

Category B

MINIMUM ~~201~~ 200 DAYS TO A MAXIMUM OF 229 DAYS (1500-1717.5 HOURS) These hours include the holidays leave time afforded to employees in this category.

1. Any employee who works 5 days per week and at least 7.5 hours daily.

~~Entitled to **prorated vacation and sick leave. **Vacation and sick time will be prorated with 1950 proration factor based on total paid hours.~~

2. Employees hired before July 1, 2025 shall continue to be entitled to receive prorated vacation and sick leave. Vacation and Sick time will be prorated with 1950 proration factor based on Total paid hours.

3. Employees hired on or after July 1, 2025, shall be entitled to.

- a. 5 vacation days (use or lose within the year)
- b. 5 sick days per year (accumulated to 20 days)
- c. Personal days (in accordance with section 18.5)
 1. Two (2) days of personal leave each school year during the first five (5) years of service.
 2. Three (3) personal days each school year after five years of service have been served.

Employees in this category shall be entitled to Health insurance, life insurance, dental insurance long term disability, and bereavement leave-in addition to all other benefits in this contract, except as explicitly noted otherwise in this agreement. and personal days in accordance with section 18.5

TAB #2

SB #5: Article #16: Disciplinary Procedures:

PACE Response : Rejects this Proposal and counters with Article 14: "Evaluations" and SB withdrawal of SB#5 "disciplinary Procedures"

EVALUATIONS

Prior to June 1, each employee shall receive a written copy of their annual evaluation. Such evaluation shall be ongoing and shall be done by the employees' immediate supervisor or building administrator.

Designed to promote professional growth, the evaluation shall be as positive in nature as possible and provide details to the employee related to all areas of growth identified. The supervisor shall also inform the employee of steps the supervisor feels need to be taken by the employee to address the identified areas, as well as supports which will be provided to the employee to address the growth needed.

It is agreed that areas of growth identified throughout the school year by the evaluating supervisor, must be raised with the employee, prior to the final evaluation, so that the employee has time to address the areas identified, before such concerns are noted as performance issues in an employees' final evaluation.

Supervisors shall have documentation of prior discussions and efforts made to support the employee in areas of growth needed, if such areas are to be memorialized in an employees' final evaluation.

A conference between the immediate supervisor and or/building administrator and the employee will be held to discuss the evaluation. A copy of the evaluation shall be given to the employee at least two days prior to the conference. As a result of the conference, modification may be made in the written documentation prior to its placement in the employees' file.

No evaluation which has not been shown to the employee may be placed in the file. The employee shall sign the evaluation however, such signature shall indicate only that it has been reviewed and shall not necessarily indicate concurrence with contents. The employee shall have the right to attach a written response to their evaluation.

Provided the School District complies with the requirements outlined within this article, an adverse evaluation shall not be considered a disciplinary action.

TAB #3

A#:7 Article 20 HRS of Work:

The normal work week will consist of five (5) consecutive days, Monday through Friday. ~~Employees normally work a seven and one-half (7 ½) hour day.~~ The hours in the building will be eight (8) hours, with a ½ hour unpaid lunch. Paid hours are seven and one-half (7 ½) hours per day for a total paid week of thirty - seven and one half (37.5) hours per week. Paychecks are issued every two (2) weeks with a total of seventy-five (75) paid hours.

It is expected that all employees will be physically in a school building for the 180 days students are present, as well as the Teacher workshop days before, during and after the school year, except in cases of unexpected emergency. If an emergency should occur, the employee will work with their supervisor, to determine if it is appropriate for work to be performed remotely.

If an employee expects to take a day off during the school year, the employee must document the usage of vacation, personal or sick time to ensure the time missed and benefit time utilized is recorded.

Employees will be afforded the opportunity to work up to ten (10) non-student work days remotely, as long as the employee and their immediate supervisor have agreed upon the day/time and written authorization has been received by the supervisor for each remote day which was requested and approved.

All time worked in excess of the normal work week ^{of 37.5 hours} shall be paid at the rate of time and one half (1½) or compensatory time will be awarded if requested by the employee and approved in writing by the employee's supervisor.

The District shall retain the right to schedule working hours which in the opinion of the District and Superintendent of Schools best serve the District and its constituents. Except in the case of extreme emergency conditions, the employee workday shall be scheduled between the hours of 6:00AM and 5:00PM.

The work schedule in effect shall be changed only after consultation of both parties.

City of Portsmouth
Estimate of Negotiated Cost Items

PORTSMOUTH ASSOCIATION OF CLERICAL EMPLOYEES (PACE) - 6/5/25

NH Retirement Rate	13.53%	12.75%	12.75%	12.75%
FICA Rate	7.65%	7.65%	7.65%	7.65%
COLA Rate		2.84%	3.00%	2.00%

CURRENT CONTRACT - PACE GROSS BUDGET (Steps Only/NO COLA)

	FY25 Base	FY26	FY27	FY28	Projected 3-Yr Total	
Salary	\$1,343,405	\$1,358,935	\$1,365,111	\$1,365,111	\$5,432,562	
Longevity	\$15,292	\$15,292	\$15,292	\$15,292	\$61,168	
NH Retirement	\$183,832	\$175,214	\$176,001	\$176,001	\$711,048	
FICA	\$103,940	\$105,128	\$105,601	\$105,601	\$420,270	
	\$1,646,469	\$1,654,569	\$1,662,005	\$1,662,005	\$6,625,049	
Year to Year CURRENT Gross Budget Change		\$8,100	\$7,436	\$0	\$15,536	Total Year to Year Increase
% change		0.49%	0.45%	0.00%	0.94%	Change FY25 to FY28
					0.31%	Avg % Change per year

PROPOSED TENTATIVE AGREEMENT - PACE GROSS BUDGET

	FY25 Base	FY26	FY27	FY28	Projected 3-Yr Total	
Salary	\$1,343,405	\$1,416,534	\$1,440,478	\$1,496,855	\$5,697,272	
Longevity	\$15,292	\$18,020	\$22,794	\$25,885	\$81,991	
NH Retirement	\$183,832	\$182,906	\$186,567	\$194,149	\$747,454	
FICA	\$103,940	\$109,743	\$111,940	\$116,490	\$442,114	
	\$1,646,469	\$1,727,203	\$1,761,779	\$1,833,379	\$6,968,830	
Year to Year CURRENT Gross Budget Change		\$80,734	\$34,576	\$71,599	\$186,910	Total Year to Year Increase
% change		4.90%	2.00%	4.06%	10.97%	Change FY25 to FY28
					3.66%	Avg % Change per year

BREAKDOWN OF TENTATIVE AGREEMENT COST OVER "CURRENT" GROSS BUDGET

Year to Year Change Over Prior Year Base

	FY25 Base	FY26	FY27	FY28	Projected 3-Yr Total	
Salary		\$57,599	\$75,367	\$131,744	\$264,710	
Longevity		\$2,728	\$7,502	\$10,593	\$20,823	
NH Retirement		\$7,692	\$10,566	\$18,148	\$36,405	
FICA		\$4,615	\$6,339	\$10,889	\$21,843	
		\$72,634	\$99,774	\$171,374	\$343,782	
Year to Year CURRENT Gross Budget Change		\$72,634	\$27,141	\$71,599	\$171,374	Total Year to Year Increase
% change		4.41%	1.64%	4.31%	10.36%	Change FY25 to FY28
					3.45%	Avg % Change per year

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To: City Manager Conard, Mayor McEachern, Members Of The
Portsmouth City Council
CC: Human Resources Director Kelly Harper
From: Tom Closson
Date: June 17, 2025
Re: Proposed Three (3) Year CBA With The Portsmouth Supervisory
Management Alliance

The City's negotiating team has reached a tentative agreement ("TA") on a three (3) year successor collective bargaining agreement with the Portsmouth Supervisory Management Alliance ("the Union"). A copy of the TA is attached. The TA is consistent with the City Council's guidance on COLAs and health insurance premiums. The TA also includes a provision allowing certain bargaining unit members to use assigned vehicles for commuting purposes. The Union has voted to ratify the TA. I am pleased to recommend it to you.

**CITY OF PORTSMOUTH
and
PORTSMOUTH SUPERVISORY
MANAGEMENT ALLIANCE**

**TENTATIVE AGREEMENT
MAY 16, 2025**

1. Fix typos, formatting, and font throughout.

2. SECTION I – RECOGNITION

Remove the Pool Supervisor position.

3. SECTION I - RECOGNITION

Update salary schedule job titles to the following: (see attached)

- Grade 13 – Foreman I
- Grade 14 - Foreman II
- Grade 15 - Foreman III
- Grade 16 - Foreman IV
- Grade 17 - Foreman V
- Grade 18 - Foreman VI
- Grade 19 - Foreman Exempt

4. SECTION II - EMPLOYMENT AND TERMINATION

Remove references to Merit System/Plan.

- F. When it becomes necessary to reduce the number of employees working for the City, because of lack of work or funds, the City Manager will then decide which Alliance member will be laid off. Analysis will be in the following order: ~~as referred to in the Merit System:~~

5. SECTION III - LEAVES OF ABSENCE

Change Bereavement Leave (Section A-3) to the following:

All permanent full-time employees shall be entitled to Emergency Leave up to three (3) days with pay for death or grave illness in the immediate family. If needed, an additional two days (2) may be granted by a Department Head at their discretion, for the immediate family. Immediate family shall be defined as follows: spouse, child (including adopted child), parent (including parent by

adoption), brother, sister, grandparent, grandchild, mother-in-law, father-in-law, sister-in-law, brother-in-law, grandparent, grandchild, mother-in-law, father-in-law, sister-in-law, brother-in-law, grandparent-in-law. Grave illness is defined as illness or accident from which survival is not likely.

All permanent full-time employees shall be entitled to Emergency Leave up to two (2) days for the death of an aunt, uncle, or of a spouse's aunt or uncle.

6. SECTION III - LEAVES OF ABSENCE

Section F - Remove Medical Appointments Leave.

7. SECTION III - LEAVES OF ABSENCE

Add Parental Leave (NEW Section)

Upon application of the employee and approval by the City Manager, parental leave of absence shall be granted to permanent full-time employees who have been employed at least one (1) year before said application. Said leave to commence at the beginning of the disability period as determined by the employee's physician and not to exceed three (3) months after the birth of the child. It will be the responsibility of the employee to notify the City Manager one (1) month prior to the employee's return to work.

At the beginning of the disability period, said employee shall use 100% of sick and annual leave, unless the City Manager approval has been obtained.

An employee shall not forfeit seniority during this parental/adoption leave of absence.

Adoption: Any bargaining unit employee adopting an infant shall be granted a leave of absence not to exceed three (3) months without pay.

Such leave shall commence upon their receiving de facto custody of said infant or up to two (2) months earlier if necessary to fulfill the requirements of adoption. The employee may keep benefits in force while on leave by paying group rate premiums to the City at 100%.

Based on approval by the City Manager, an employee on maternity or adoption leave may take unpaid leave, with sick leave and vacation time remaining on the books.

A bargaining unit member may use up to four (4) weeks of accrued sick leave as paid paternity/adoption/foster child placement leave. During such leave, employees who are in a Department Head role will make themselves available to

the city periodically, and not unreasonably, by telephone, computer or otherwise to assist in maintaining the ongoing operations of their Department.

8. SECTION IV - PAY INCREASES, LONGEVITY, MEDICAL INSURANCE

July 1, 2025 – 2.84% COLA to base wage rates.

On July 1, 2026, and July 1, 2027, a COLA percentage increase will be applied to base wages. The COLA percentage increase will be the ten-year rolling average of the annual CPI-U for the Boston-Cambridge-Newton—all items index as computed by the Bureau of Labor Statistics of the U.S. Department of Labor for November to November. The reference base is 1982-1984 equals 100 until BLS updates the reference base at which time the parties agree to adopt the official reference based as used by BLS. Further, the COLA percentage increase will have a floor of 2.0% and a cap of 5.0%. Thus, if the applicable ten-year rolling average of the CPI-U is 1.5% the resulting COLA percentage increase would be 2.0%; if the applicable ten-year rolling average of the CPI-U is 3.5% the resulting COLA percentage increase would be 3.5%; if the applicable ten-year rolling average of the CPI-U is 5.5% the resulting COLA percentage increase would be 5%.

9. SECTION IV - PAY INCREASES, LONGEVITY, MEDICAL INSURANCE

Section F - Increase employee share of premium contributions for both health insurance plans by 1.0% per contract year.

10. SECTION IV - PAY INCREASES, LONGEVITY, MEDICAL INSURANCE

Section F - Add the following language:

The City may change health and dental insurance plans if HealthTrust ends its coverage and/or services. The Union further understands and agrees that the City is providing health insurance coverage subject to all contractual limitations and exclusions imposed on either the City or individual subscribers by the insurance carrier or HealthTrust, including any contractual right of the carrier or HealthTrust to modify coverage, including prescription drug coverage, during the term of this Agreement.

11. SECTION IV - PAY INCREASES, LONGEVITY, MEDICAL INSURANCE

Section H – Continue to annually increase Longevity Stipends by same COLA as applied to wages.

12. SECTION IV - PAY INCREASES, LONGEVITY, MEDICAL INSURANCE

NEW Section P – At the discretion of the Department Head, a working foreman may be required to possess and maintain a current and valid CDL with appropriate endorsements consistent with the duties of the position. Those bargaining unit members who are

required to possess a CDL will be paid an annual stipend of two thousand dollars (\$2,000.00) for the CDL and five hundred dollars (\$500.00) for each additional endorsement.

13. SECTION V – ANNUAL LEAVE

Provide new employees with one (1) week of Annual Leave at their time of hire.

14. SECTION V – ANNUAL LEAVE

Update rates of accrual as follows:

One to five years inclusive	15 days (10 hours per month)
Six years inclusive	16 days (10.6 hours per month)
Seven years inclusive	17 days (11.3 hours per month)
Eight years inclusive	18 days (12 hours per month)
Nine years inclusive	19 days (12.6 hours per month)
Ten years inclusive	20 days (13.3 hours per month)
Eleven years inclusive	21 days (14 hours per month)
Twelve years inclusive	22 days (14.6 hours per month)

15. SECTION VI - HOURS OF WORK AND OVERTIME

Remove reference to Recreation

16. SECTION VII – SICK LEAVE

Make sick leave available to new employees at their time of hire, as the leave is accrued.

17. SECTION VIII – SICK LEAVE

Add the following Sick Bank Language:

Supplemental sick leave requests should be made for only emergent, serious, or life-threatening illnesses, injuries, impairments, or mental or physical conditions that have caused, or are likely to cause, the employee to take leave without pay, provided appropriate medical information is provided. Requests for supplemental sick leave shall be made to the Human Resources Department after all accrued leave is exhausted, and approval of use of said leave shall be made by the City Manager. An employee is considered on active status when on supplemental sick leave (as opposed to a leave of absence without pay) and is entitled to accrue annual leave, sick leave, and personal days. Polling of sick leave to act as

supplemental sick leave shall be allowed by the membership of SMA. SMA members may voluntarily donate up to 5 days (40 hours) of accrued sick leave annually on May 30th of each year of this contract. The use of this time is administered by the conditions described above. The pool will be capped at 150 days and may be rolled over annually. The withdrawal of supplemental sick leave is capped at 60 days per individual per year.

18. SECTION VIII - HOLIDAYS

- Remove ½ day for Good Friday
- Add ½ day for Christmas Eve
- Delete paragraph related to Good Friday/Christmas Eve

19. SECTION IX – EQUIPMENT

Update Boot Allowance benefit to the following:

All bargaining unit members will be entitled to reimbursement of three hundred dollars (\$300) per fiscal year for the purchase of appropriate, work-related footwear. This reimbursement will be paid in July of each fiscal year to all then current bargaining unit members. Each department will have the right to establish specifications for footwear for jobs to ensure safety.

20. SECTION IX – EQUIPMENT

Add Clothing Allowance benefit as follows:

All bargaining unit members who do not utilize the uniform service and who notify the City on or before May 1 will be entitled to reimbursement of seven hundred dollars (\$700) per fiscal year for the purchase of appropriate uniforms. This reimbursement will be paid in July of each fiscal year to all then current bargaining unit members. Bargaining unit members will be required to adhere to the City's Uniform Policy (see attached), the violation of which will be grounds for discipline.

21. SECTION XIV - JOINT LABOR COMMITTEE

Delete this section.

22. NEW SECTION – Any bargaining unit member assigned a City vehicle for performing work-related tasks will be permitted to use the vehicle for commuting to and from work. This benefit is for commuting purposes only, to include only incidental stops during the regular commute. Abuse of this benefit will result in immediate termination of the benefit.

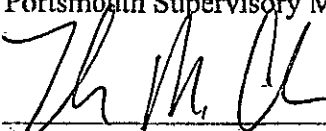
May 16, 2025



6/2/2025

Portsmouth Supervisory Management Alliance

May 16, 2025



6/2/2025

City of Portsmouth, New Hampshire

City of Portsmouth
Estimate of Negotiated Cost Items

May 16, 2025

PORTSMOUTH SUPERVISORY MANAGEMENT ALLIANCE (SMA)

COLA	2.84%	3.00%	3.00%
social security	6.20%	6.20%	6.20%
medicare	1.45%	1.45%	1.45%
retirement	12.75%	12.75%	12.75%

GENERAL FUND ONLY:

CURRENT CONTRACT - (Steps only / No COLA)

Wages	FY26	FY27	FY28	Projected total for 3 years	
Salaries	2,600,760	2,625,643	2,638,693	7,865,096	
Longevity	17,313	18,789	20,265	56,367	
Retirement	333,804	337,165	339,017	1,009,986	
Social Security	162,321	163,955	164,855	491,131	
Medicare	37,962	38,344	38,555	114,861	
	3,152,160	3,183,896	3,201,385	9,537,441	
Year-to-Year Net Increases		31,736	17,489	49,225	Total Yr-to-Yr Increase
% Change		1.01%	0.55%		

PROPOSED TENTATIVE AGREEMENT - GROSS BUDGET

Wages	FY26	FY27	FY28	Projected total for 3 years	
Salaries	2,674,622	2,781,218	2,878,478	8,334,318	
Longevity	17,805	19,903	22,066	59,773	
Retirement	343,284	357,143	369,819	1,070,247	
Social Security	166,930	173,669	179,834	520,434	
Medicare	39,040	40,616	42,058	121,714	
	3,241,682	3,372,549	3,492,254	10,106,486	
Year-to-Year PROPOSED Gross Budget Change	89,522	130,867	119,705	340,094	Total Yr-to-Yr Increase
	2.84%	4.04%	3.55%		

FY26 Included in Budget in Collective Bargaining Contingency

BREAKDOWN OF TENTATIVE AGREEMENT COSTS OVER "CURRENT" CONTRACT LANGUAGE

Wages	FY26	FY27	FY28	Projected total for 3 years	
Salaries	73,862	81,713	84,210	239,785	
Longevity	492	622	687	1,801	
Retirement	9,480	10,497	10,824	30,802	
Social Security	4,609	5,105	5,264	14,979	
Medicare	1,078	1,194	1,231	3,503	
TOTAL COST OF TENTATIVE AGREEMENT	89,522	99,131	102,216	290,869	Total Yr-to-Yr Increase
				3.05%	Total % change

CUMULATIVE TENTATIVE AGREEMENT COST

Difference Between "CURRENT" Gross Budget and "PROPOSED" Gross Budget

Wages	FY26	FY27	FY28	Projected total for 3 years	
Salaries	73,862	155,575	239,785	469,222	
Longevity	492	1,114	1,801	3,406	
Retirement	9,480	19,978	30,802	60,261	
Social Security	4,609	9,714	14,979	29,303	
Medicare	1,078	2,272	3,503	6,853	
TOTAL COST OF TENTATIVE AGREEMENT	89,522	188,653	290,869	569,045	Cumulative Increase



500 Market St. Portsmouth, NH 03801
PortsmouthCollaborative.org

Ben VanCamp, President & Chief Collaborator
Chamber Collaborative of Greater Portsmouth
500 Market Street
Portsmouth, NH 03801

July 7, 2025

Karen Conard, City Manager
City of Portsmouth
1 Junkins Avenue
Portsmouth, NH 03801

Dear City Manager Conard,
On behalf of the Chamber Collaborative of Greater Portsmouth, I am writing to formally request the use of Bohenko Gateway Park for street.*life!* 2025 on Wednesday, August 13, 2025, with a rain date of Thursday, August 14, from 6 – 8:30 p.m.

Street.*life!* is the largest annual gathering of the Portsmouth-area business community. Each year, the event brings together hundreds of local business leaders, community stakeholders and residents to celebrate the spirit of innovation, collaboration, and civic pride that defines our region.

This year, street.*life!* will center on celebrating outdoor public art in Portsmouth. We believe this focus not only highlights the creative culture of our community but also underscores the importance of accessible and inspiring public spaces. In alignment with this theme, the event will serve as the official launch of a new effort to bring an additional sculpture to Bohenko Gateway Park, in collaboration with the City's Public Art Review Committee.

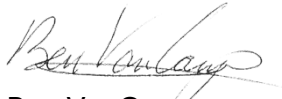
We believe Bohenko Park is the perfect backdrop for this community celebration. The Chamber Collaborative requests permission to sell beer, wine and mixed beverages in the park and has begun steps with the NH Liquor Commission to satisfy their requirements.

We are committed to working closely with City staff to ensure all logistical, safety, and permitting requirements are met and that the park is treated with the utmost respect before, during, and after the event.

Thank you for your consideration of this request.

We look forward to the opportunity to partner with the City to bring this exciting event—and future public art—to life!

Sincerely,

A handwritten signature in black ink, appearing to read "Ben VanCamp", with a stylized flourish at the end.

Ben VanCamp

President & Chief Collaborator

Chamber Collaborative of Greater Portsmouth

ben@portsmouthcollaborative.org

(603) 610-5516



Bryan Curley, Logistic Chair
2025 "All-American County Fair"
29 Prescott Rd Brentwood, NH
bryan@restoraclaim.com cell: 603-714-4485

June 10th 2025

Ms. Karen Conard, City Manager
City of Portsmouth
1 Junkins Avenue
Portsmouth, New Hampshire 03801

Dear Ms. Conard:

Veterans Count is seeking the appropriate approvals for our "All-American Fair" event to celebrate America, similar to the event we hosted at the same location in 2023. We are hosting this event in concert with the Air Show at the Pease Air National Guard Base on the following 2 days. Veterans Count is an affiliate of Easter Seals-NH. This will be our 14th Salute-Our-Soldiers event, the first 5 have been located at the Service Credit Union Headquarters. We offer the following information:

DATE/TIME: Friday, September 5th, 2025 at 5:00 – 9:00 pm for the event. Clean-up before midnight.

SET-UP: Thursday, September 4th, 2025, 7:00 am – 7:00 pm. Friday, September 5th, 2023, 7:00 5:00 pm.

LOCATION: At the hangar located at 120 Aviation Avenue at the Portsmouth International Airport at Pease; mainly inside the hangar.

ATTENDEES: We are hoping to have more than 500 in attendance.

FOOD: All food will be catered, and the caterer will be responsible for all food and health permits required.

ALCOHOL: There will be Alcohol on the premises and the caterer will be responsible for following all the requisite rules and regulations for serving alcohol. Easter Seals will be securing the appropriate permits.

POLICE: We will contract as needed with Portsmouth Police for a dedicated detail during the event, just as we did for the 2023 similar event. Due to the nature of the event we are working with the authorities at the airport for their needs and will have the appropriate security for the airport secured area.

FIRE: We will schedule a fire inspection of the area in the very near future and will have the requirements we need to follow and will adhere to their requirements. In 2021 some minor changes were made to be fire-code compliant.

PARKING: We have worked with C&J and PDA to secure parking lots for the event, both are located Aviation Avenue & Hampton Street. We are working with the Pease Development Authority for additional parking and dedicated parking for event workers and volunteers.

COI: We will have the certificates of insurance as needed, to include the City of Portsmouth and the PDA.

PDA: We are working with the Pease Development Authority as well and are sending them a similar communication as this for their needs and approvals.

FAA: Due to being on the edge of the restricted area we are working with the FAA as well to meet their needs and requirements for such an event.

Once again much of this information is a repeat of our events of this and previous years and we look forward to meeting with the City Officials and making this as seamless as possible.

I am available at the above contact information for further questions or if you wish me to attend a logistics meeting with the City Officials.

Thanks!

Bryan Curley

Attached: PDA event letter

ALL AMERICAN COUNTY FAIR

Join us On the Tarmac at Pease International Tradeport
as we give thanks to our military heroes and all who support them.

Presented By



Friday, September 5th
5:00pm - 9:00pm
120 Aviation Avenue
Portsmouth, NH



Join us in celebrating New Hampshire's service members,
veterans, and their families at our county fair-themed event.
Enjoy delicious food, refreshing drinks, fun fair games,
carnival entertainment, live music, and so much more!



Get Your Tickets!



June 9, 2025

Mr. Paul Brean, Executive Director
Pease Development Authority
55 International Drive
Portsmouth, NH 03801

Dear Mr. Brean:

Veterans Count is seeking the appropriate approvals for our “On the Tarmac” event on Friday, September 5, 2025 to serve as the Welcome Party for the military and civilian performers in the Thunder Over New Hampshire Air Show to be held on September 6-7 2025 and to serve as a fundraiser for Veterans Count providing services for NH service members, veterans and their families. Veterans Count is an affiliate of Easterseals NH. The event will be similar to the event held in 2023. We offer the following information:

DATE/TIME: Friday, September 5, 2025 at 5:00 pm – 9:00 pm. Clean up as soon as possible directly after the event

SET UP: Thursday, September 4, 2025 7:00 am to 7:00 pm; Friday, September 5, 2025, 7:00 am to 5:00 pm

LOCATION: Primarily inside and some outside the hangar located at 120 Aviation Avenue at the Portsmouth International Airport at Pease.

ATTENDEES: We are hoping to have more than 500 in attendance.

FOOD: All food will be catered, and the caterer will be responsible for all food and health permits required.

ALCOHOL: There will be alcohol on the premises and the caterer will be responsible for following all the requisite rules and regulations for serving alcohol. Easterseals NH will be securing the appropriate permits and licenses.

POLICE: We will contract as needed with Portsmouth Police for a dedicated detail during the event, just as we did last time. Due to the nature of the event, we are working with authorities at the airport for their secured area.

FIRE: We will schedule a fire inspection of the area and will have the requirements we need to follow and will adhere to their requirements. At the time of the last event, minor changes were made to the entrance and exits of the building to allow for use of the interior of the building.

PARKING: If parking is not available at Aviation Avenue & Hampton Streets this year we will obtain parking in private lots for event workers and across the street off Aviation Avenue and hope to use the parking lot behind the PCA hanger the night of the event.

COI: We will have all certificates of insurance as needed, to include the City of Portsmouth and the PDA.

CITY: We are working with the City of Portsmouth as well and are sending them similar communication as this for their needs and approvals.

FAA: Due to being on the edge of the restricted area we are working with the FAA as well to meet their needs and requirements for such an event. We have submitted, and been approved, for this request in prior years; *case #2025-ANE-1405-NRA for the FAA Form 7460 application*

Once again much of this information is a repeat of our prior event and we look forward to meeting with the PDA Board and City Officials and making this as seamless as possible.

I am available at the contact information below for further questions or if you wish me to attend a logistics meeting with the Board.

Thank you,

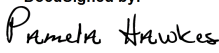
Katherine Richard

Katherine Richard

Director of Events
Easterseals NH
krichard@eastersealsnh.org
(603)969-4093

Easterseals NH & VT, Chief Development Officer

Pamela Hawkes

DocuSigned by:

59D12D6AA48D456...



All American County Fair Parking Plan DRAFT

LOT C
60-80 spaces

Backup lot only if needed. Coordinate with Building Owner & Tenant if this becomes necessary

Parallel parking for event staff/volunteers on Friday night. Need to ensure cars are parked tight to grass so travel lane can be maintained

LOT A
100-120 spaces

LOT B
80 - 100 spaces

Entrance

LOT D
60-80 spaces

Tenant on this lot indicated some of these spaces could be available subject to rights of Subtenants. Event would need to coordinate to ensure they do not inconvenience subtenants on Friday of the Event.

*Parking space counts are approximate for discussion purposes at this stage. They are based on ~350 sf/space.

**Assuming 350 vehicles which would include volunteers & staff.



South Mill Pond

Chris Martin - Northern New
England Representative

Date 3/14/2025



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parks & playgrounds
866.575.PLAY
www.ultiplayus.com











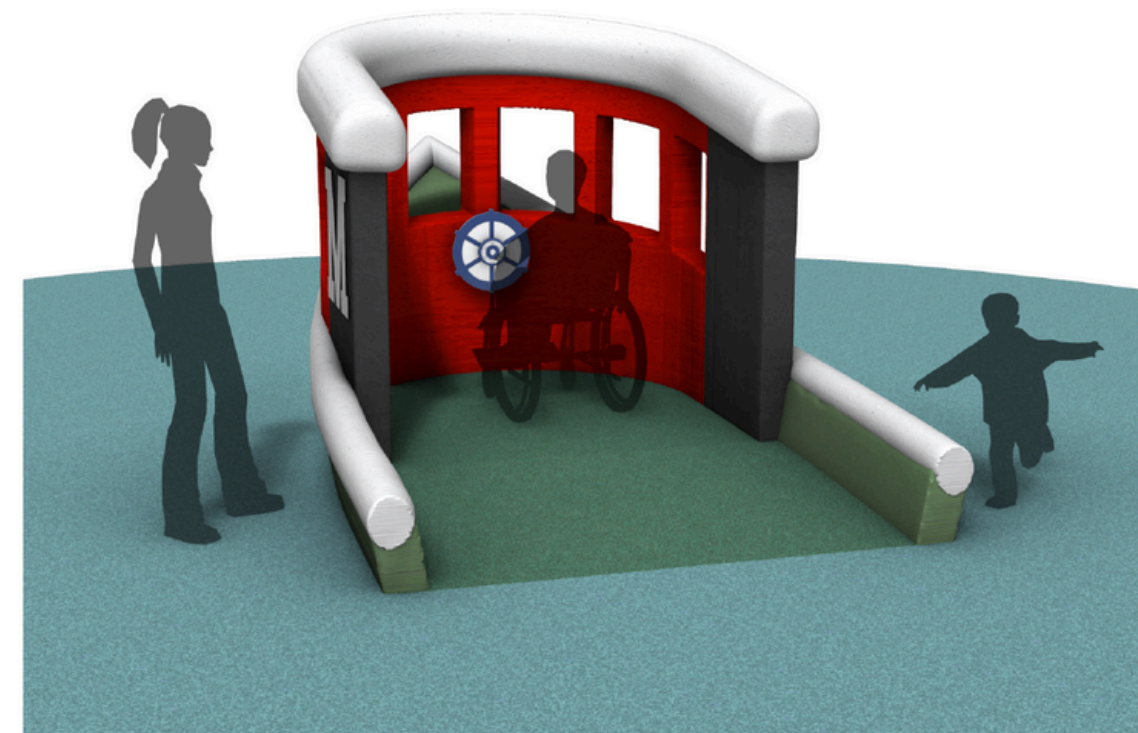
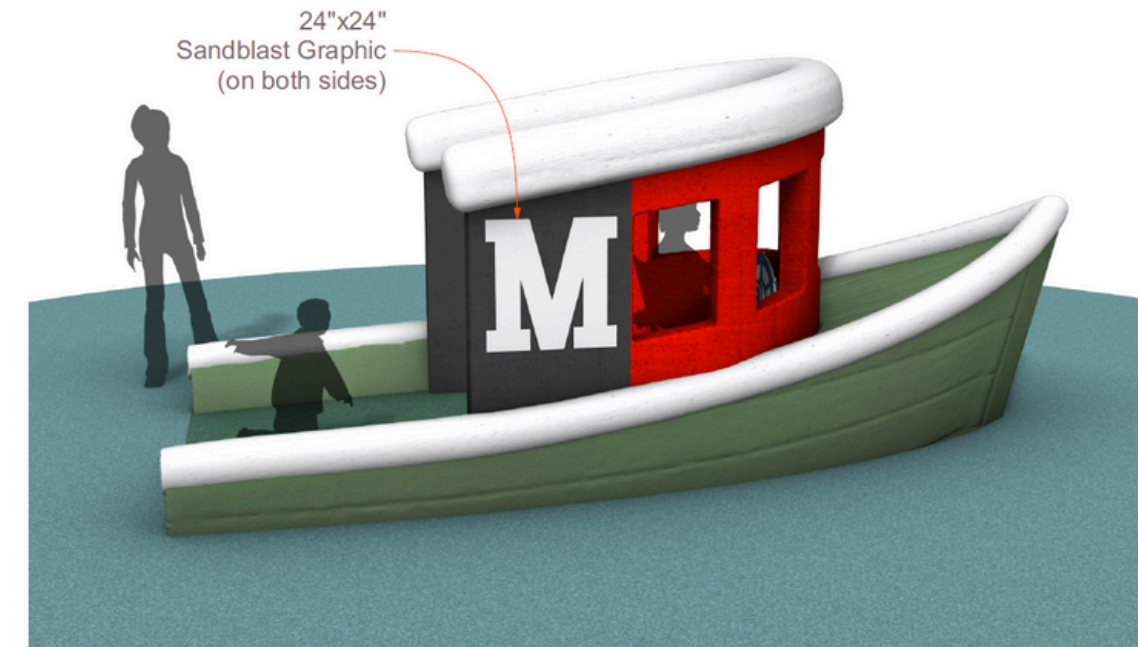
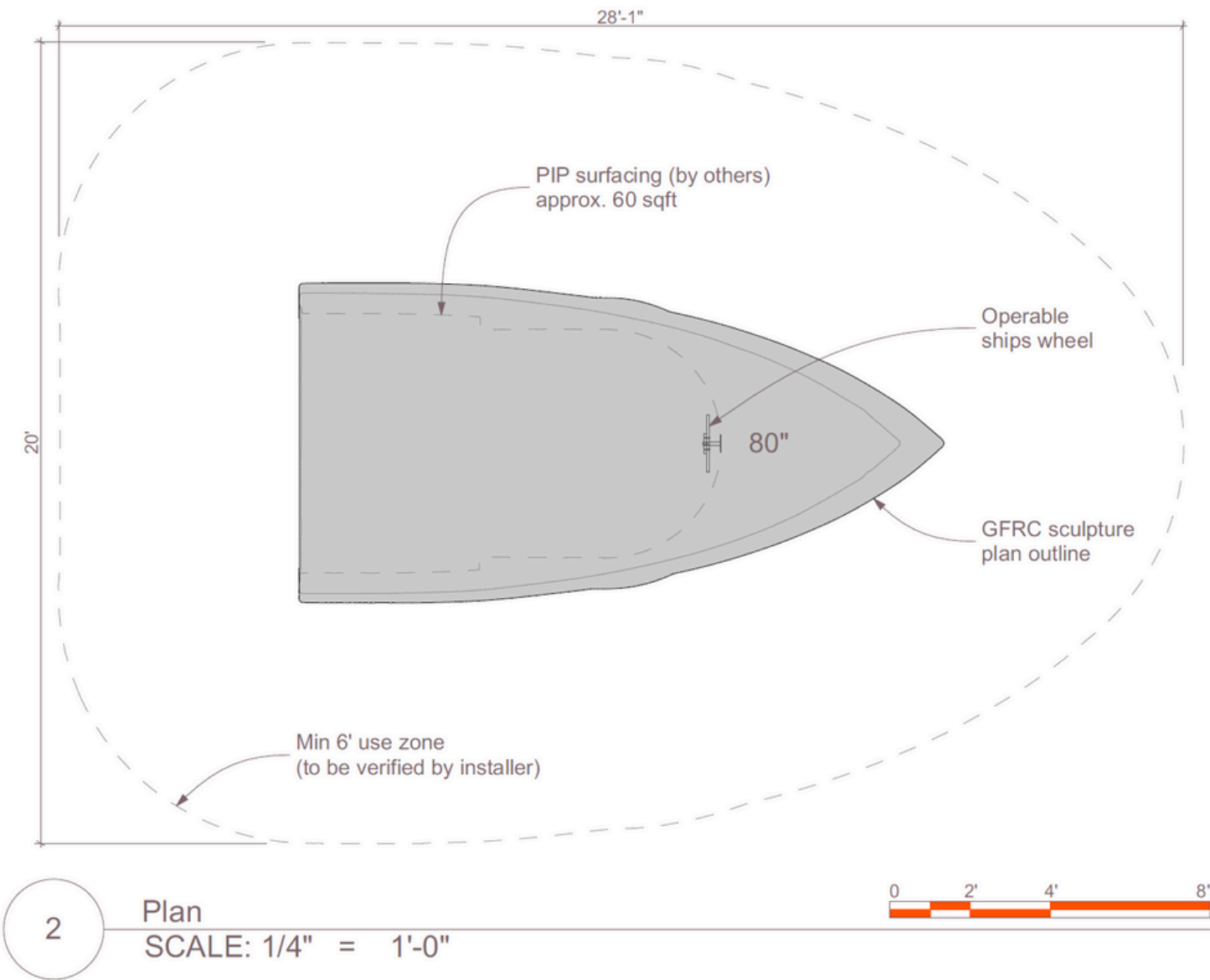
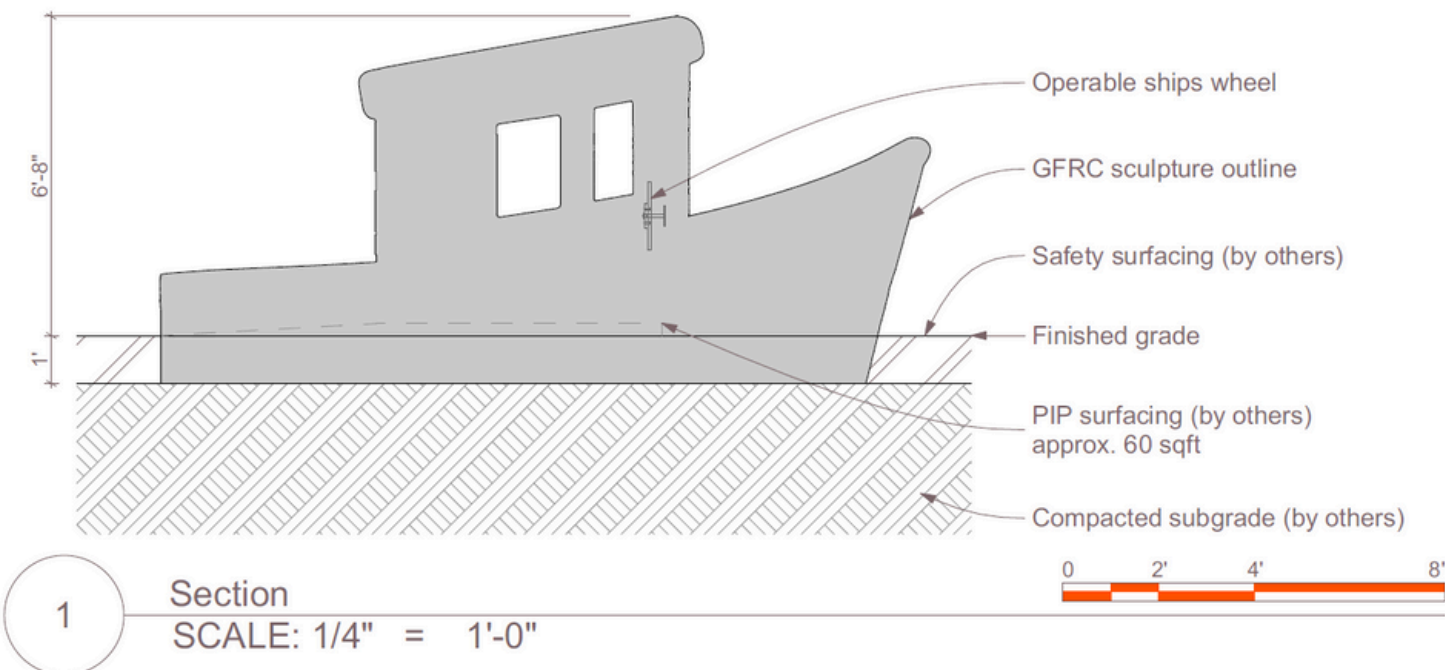












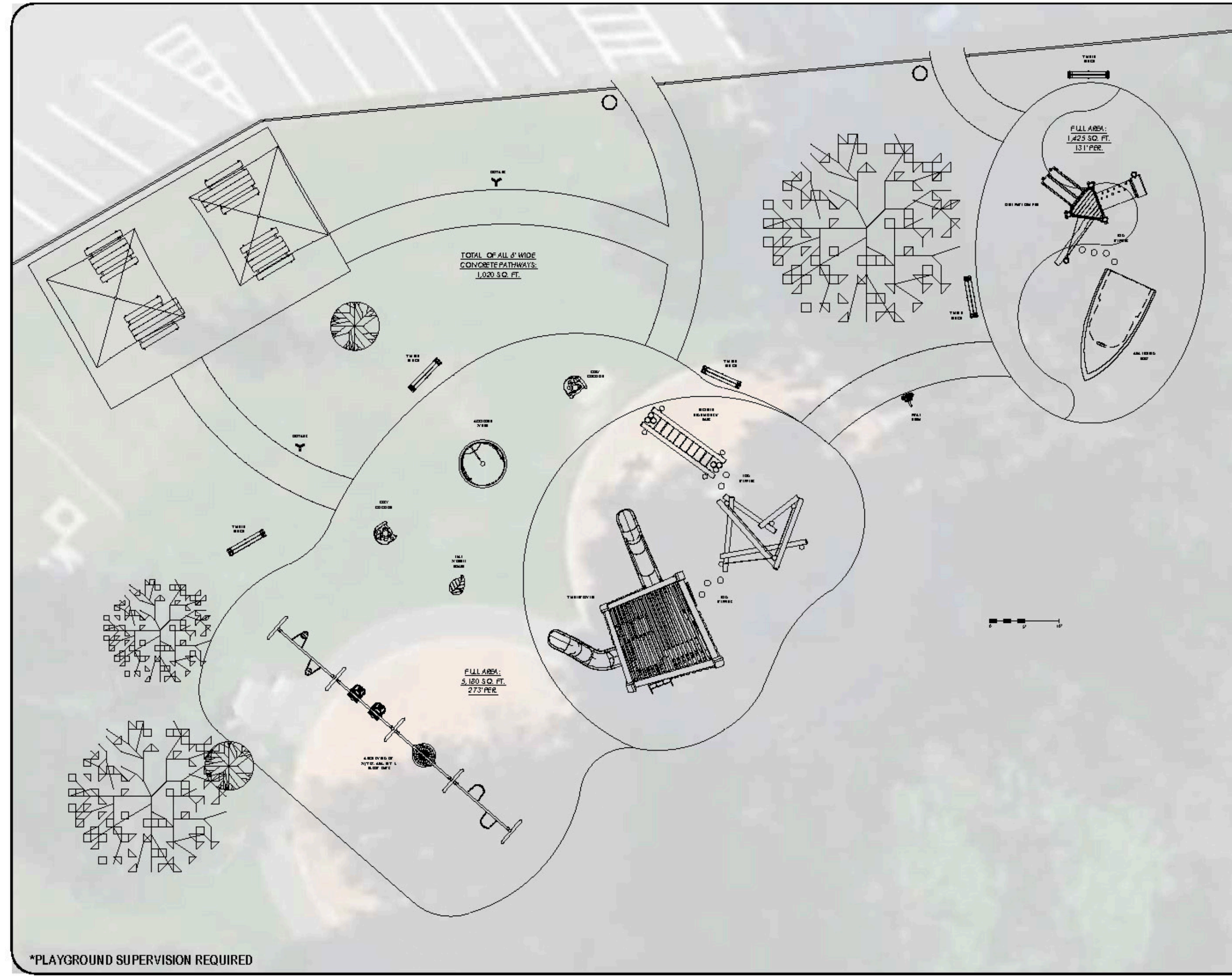
All IDS projects are designed to meet or exceed ASTM 1487. Please consult ASTM 1487 for required hazard warning and signage specifications. Not all equipment may be appropriate for all children. Supervision is required. ASTM compliant safety surfacing is required under and around all play equipment. The Americans with Disabilities Act (ADA) may require your play area to be accessible, please consult with an ADA professional to ensure compliance.

Date **6/18/2025**

Sheet # **A.01.1**

Drawing Title
Layout

Approved By / Date:



*PLAYGROUND SUPERVISION REQUIRED



866.575.PLAY
www.ultiplayus.com

EQUIPMENT SIZE:	
USE ZONE: SEE DWG	
AREA: SEE DWG	PERIMETER: SEE DWG
FALL HEIGHT: 8 Ft.	
USER CAPACITY:	AGE GROUP: 5-12

✓ ASTM F1487-21
✓ CPSC #325



PROJECT NO: 12725-CM-B	SCALE: SEE BAR SCALE
DRAWN BY: DANA GRUBBS	Paper Size B
DATE: 19-MAR-2025	

SOUTH MILL POND

PORTSMOUTH, NH

TIMELINE

DELIVERY AND INSTALLATION

- Ground breaking, demo of existing equipment and site prep September 2nd
- Equipment delivery end of Labor Day week
- Timber tower delivery Sept 8th
- Installation of new concrete pathways and shade pad simultaneous to playground installation
- Estimated playground installation equipment completion week of Sept 8th.

RUBBER SURFACING

- Rubber surfacing start approx Sept 12
- Required cure time 3 days

FENCING

- Additional black 4ft chain link fence to be installed toward near Sept 12th

PROJECT COMPLETION

- Project completion and punch list completion estimated for Sept 19th

PROJECTED TIMELINE





TIMBER TOWER





PLATFORM 900



A photograph of a park scene where four children are playing on a large, circular, accessible merry-go-round. The merry-go-round has a black perforated metal deck and orange handrails. A boy in a blue jacket and red-rimmed glasses is seated in a red motorized wheelchair, which is positioned in the center of the merry-go-round. He is wearing green gloves and is smiling. To his left, a boy in a white and blue jacket is leaning forward, holding the orange handrail. To his right, a girl in a pink shirt is also leaning forward, holding the handrail. Behind the boy in the wheelchair, another girl in a grey jacket is standing and holding the handrail. The background shows a typical park setting with trees, a playground structure with slides, and a paved ground. The sky is overcast.

ACCESSIBLE WHIRL

WOOD SPECIES

Depending on application, playground location and site conditions, different wood species are used for different play structure parts. Extensive research and experience with wood has led to the careful selection of wood species based on sustainability, longevity and the ability to hold up to varying environmental and use factors. All bark and sapwood is removed by hand from every log, leaving only the durable heartwood.

*Lifespans are approximate and vary depending on location, environmental conditions, use and maintenance.
Note: Fungi and termite resistance ratings are based on DIN350-2 classification, wood durability classifications based on BS EN 350; Accoya - EN 113 (EN84), ENV 807 and EN 252 AS5604

Black Locust <i>Robinia pseudoacacia</i>	
Black Locust, or Robinia, is native to North America and is a fast-growing tree that is commercially harvested from within North America. This temperate hardwood is naturally fungi, rot, and termite resistant.	Lifespan (years)*: Above grade 80+ Below grade 25+ Classified: Durable to very Durable
Applications <ul style="list-style-type: none">Log Jams™Log TowersPost and RopeGiant Rope SwingSlide Platforms	
Accoya® <i>Acetylated Radiata pine</i>	
Accoya® is an FSC Certified modified timber known for its durability, sustainability, and versatility. Through a process of acetylation, the wood becomes exceptionally stable, fungi- and termite-resistant. More details about Accoya® can be found at https://www.accoya.com/	Lifespan (years)*: Above grade 50+ Below grade 25+ Classified: Moderately Durable
Applications <ul style="list-style-type: none">Sculpture claddingTower and bridge decking and cladding	
Alaskan Yellow Cedar <i>Cupressus Nootkatensis</i>	
Alaskan Yellow Cedar (AYC) is native to the west coast of North America. It is only used above grade and is resistant to fungi and termites. AYC Glulam is a predictable engineered product, that offers a refined look, superior structural performance, and curved applications.	Lifespan (years)*: Above grade 30+ Classified: Durable
Applications <ul style="list-style-type: none">Tower beamsFraming and claddingGlulamSwing posts & Moku-Yama	

WHAT TO EXPECT

It is perfectly normal, and almost certain, that within one to two years of installation, your playground will undergo change as the wood acclimates to its surroundings. What changes can you expect? The wood will expand, contract, and change colour. During this initial period, regular maintenance and safety inspections are important. You can expect the following to occur;

COLOUR CHANGES

Wood will change colour and develop a silver patina over time.



0-6 months



6-12 months



12-24 months



tannins on wood

TANNINS - You may notice dark stains on the wood. These are caused by tannins leaching out from the wood and accumulating on the surface. This is a normal occurrence and does not require any intervention on your part. Tannins are typically more noticeable in areas with limited sunlight exposure, such as the underside of platforms.

CHECKING

Checks are natural separations of wood fibers that run parallel to or along the wood grain. They are a normal occurrence and rarely pose any structural issues. Checking is most common within the first 1-3 years as the wood adjusts to the local environment. Additionally, we use anti-check bolts in the ends of susceptible features to mitigate any potential hazards.

Smooth out any checks in areas where children can touch to prevent sharp edges and reduce the risk of splinters. Once the wood reaches its equilibrium moisture content, checks will stabilize, and the need for sanding will decrease significantly. Cracking on the other hand is a break across the wood fibre and indicates damage - this is distinct from checking.

Examples of acceptable checking:



Thank you!

Chris Martin | VT/NH/ME Sales Representative



774.287.9182



cmartin@ultiplayus.com



www.ultiplayus.com



City Council Emails – June 23, 2025 – July 10, 2025

Submitted on Mon, 06/30/2025 - 13:44

Submitted by: Anonymous

Submitted values are:

First Name

Julienne

Last Name

Echavarri

Email

jechavan@gmail.com

Address

34 Rock St
Portsmouth, New Hampshire. 03801-3938

Message

To whom it may concern,

My name is Julienne Echavarri and I live at 34 Rock St, a direct abutter the 361 Hanover project. As I have mentioned in my previous emails, I am still very concerned with the location of the entrance to this development. The entrance to the development from Hanover will exponentially increase the traffic through my street, which is a small street. The increase in everyday traffic and delivery trucks, etc will lead to an increase in noise and air pollution and a decrease in safety. The increase in traffic will also lead to a decrease in my home's property value. In addition, the entrance through our neighborhood streets will promote street parking on our streets which are already low in parking, thus making the streets even more congested and less safe since the width of our streets are smaller than average.

I do not understand why this developer is being allowed to place the entrance to the development through our streets and neighborhood when the zone to the development is a completely different zone to our neighborhood. The development's entrance should be through foundry place which has the same zoning as the developer's lot. Our streets are small, large trucks don't fit through our streets. We have provided solutions to the developer, but he doesn't seem to care about the concerns of the direct abutters/neighbors that will be directly affected.

I would like this committee to actually acknowledge and take our concerns seriously and recognize that our concerns are legitimate. Please remember that the city needs to represent the neighbors not the developers.

Please indicate if you would like your comment to be part of the public record for the upcoming City Council meeting.

Yes

Meeting: City Council
Date: 07/07/25
RE: Rezoning

Dear Mayor McEachren and Members of the City Council,

July 2, 2025

The zoning change before you is to provide Transitional Zoning between the North Side of Foundry Place which borders on the RR Tracks and the South Side of Foundry Place to Hill and Hanover St, which borders on Residential. Lots requested by the Neighborhood are Lots 138-60, 62, 125-16. The other lot included by the Planning Department is Lot 138-61.

Here is what it looked like BEFORE an extensive land trade took place with Deer Street Associates (DSA) for the land needed to build the Foundry Garage. DSA had also purchased 181 Hill St so that it was added to the rezoning of this area. Character Districts were new to Portsmouth. The boards and the City Council were trying hard to understand how they worked, much less the general public.



Most of the area was originally zoned with transitional zoning, Mixed Residential Office (MRO). However, when the land trade took place all of that changed. 181 Hill St now called 89/99 Foundry Place was purchased and got included in the rezoning for the land trade which added the other lots on Hill St/Hanover St to that rezoning.

Original zoning was MRO:

Mixed Use Districts		
Mixed Residential Office	MRO	To provide areas where a limited range of business establishments , including live/work units , can be located near or adjacent to residential development , providing a transition between residential neighborhoods and commercial districts.
Mixed Residential Business	MRB	

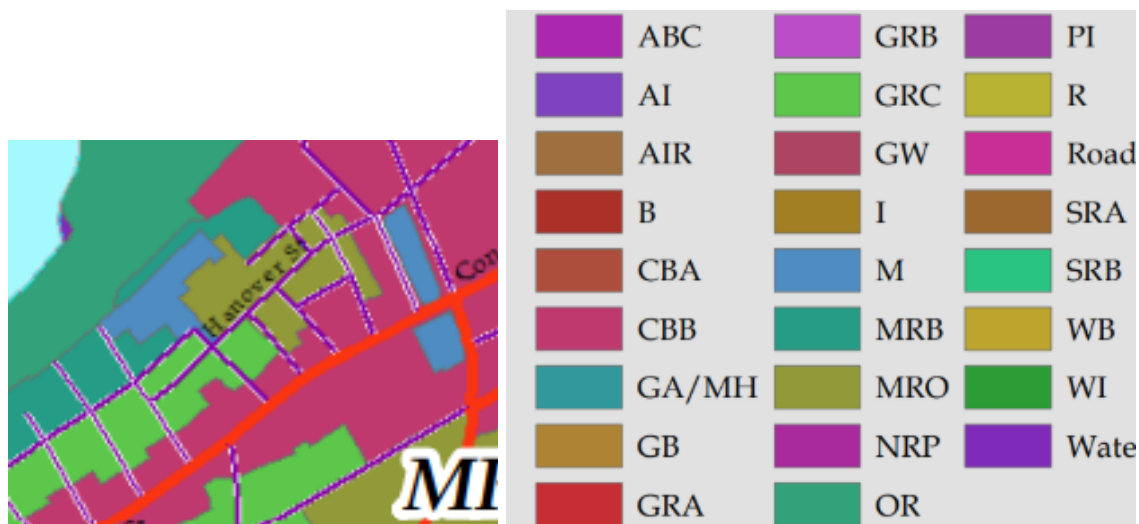
Dimensional Standards for MRO. (Sorry had troubles lining it up)

Page 62 <https://files.cityofportsmouth.com/files/planning/zoning/ZoningOrd-191216.pdf>

Notice the Lot Area per Dwelling, CD4-W had this too but it is far less, allowing far more units.

	MRO	MRB
Minimum Lot Dimensions		
Lot area	7,500 sf	7,500 sf
Lot area per dwelling unit	7,500 sf	7,500 sf
Continuous street frontage	100'	100'
Depth	80'	80'
Minimum Yard Dimensions		
Front	5'	5' ²
Side	10'	10'
Rear	15'	15'
Maximum Structure Dimensions		
Structure height		
Sloped roof	40'	40'
Flat roof	30'	30'
Roof appurtenance height	10'	10'
Building coverage	40%	40%
Minimum open space	25%	25%

Larger version of this Zoning Map is at the end. As can be seen the area was zoned MRO (olive color).



What is transitional zoning? Per various sources it is an area that acts to balance zoning. It usually exists between a more intense zoning and a less intense zoning. **Reviewing the West End Vision Plan and the North End Vision Plan one will notice that they intersect at the area to be rezoned, Islington Creek.**

THE WEST END: ISLINGTON STREET CORRIDOR PRELIMINARY VISION PLAN



PRELIMINARY REGULATING PLAN

North End



Transitional zoning has less intense **uses and density** than the most intense zoning and more intense than the least intense uses and density.

It is apparent that CD5 is by no means a transitional zone! It is per Figure 10.5A441.10, “a high density center with a mix of building types and residential, retail and other commercial uses.”

CD4 per Figure 10.5A41.10C “consists of a medium to high density transitional area with a mix of building types and residential, retail, and other commercial uses”. However, CD4-W acts in the same capacity.

The catch on CD4 is it has the EXACT same USES as CD5, which is where CD4 being transitional to a mixed use residential becomes an issue.

CD4-W has some very distinctive changes in uses which are more neighborhood friendly. CD5 and CD4 were developed for downtown and the Russell, Maplewood, Vaughn areas of the North End. CD4-W was developed to back up against GRA and GRC neighborhoods and therefore provides more resident friendly uses.

CD5 and CD4 allow BY RIGHT: 24 hour convenience stores; shopping center; nightclub or bar up to 250 people; restaurant up to 500 people; hotel more than 500 rooms; a conference hotel; a conference center,

CD4-W allows by Right: convenience store with hours up to 11PM
However, NONE of the other businesses listed for CD5 and CD4 by right are allowed.

If you lived on Lot 126-06 with about 5000 sf of commercial space on 0.6 acres, right next to 126-16 with 30,000 sf of commercial space on 0.61 acres, how would you feel if a bar went in that could hold 250 people? The bar could go in without needing any approvals because it's allowed per zoning uses.

These high intensity uses, which were created for downtown or the isolated island of the “real” North End which backs up to the North Mill Pond and the downtown district. Not the suppositive “North End” which backs up to the suppositive “West End” which are really both Islington Creek which reached from Dover St to Bridge St.

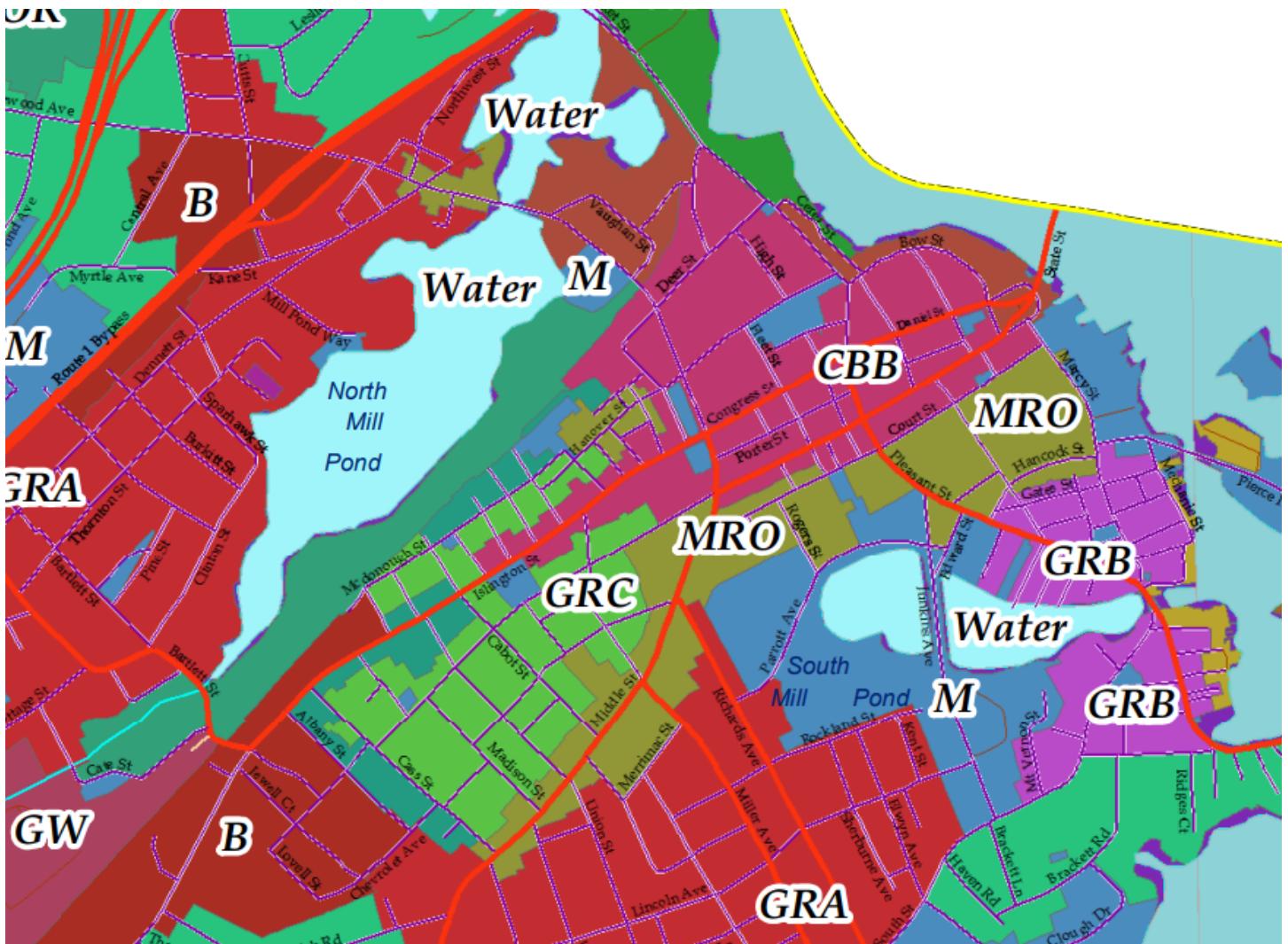
This zoning change request was brought forward once neighbors realized what had happened and what CD5 zoning means. As neighbors began to try to damper Deer Street Associates Lot 6/181 Hill St/89/99 Foundry Place giant 60++ feet proposed hotel with a penthouse in late 2017, the horrible zoning became a reality. A lot of questions of the Planning Department were asked, that was when the neighbors found out that citizens can ask for areas to be rezoned, a little known fact.

Islington Creek Neighborhood has a LOT of traffic and parking issues. Allowing the **Downtown Overlay District** in this area just adds to the problem by allowing a 4 parking space reduction if used.

The **North End Incentive Overlay District** allows the developer to add another story. Why set the height if another 10' can be added to it. If so, lower the “regular” height by 10' so it is a true transition height.

If CD4 is going to be used instead of CD4-W both of these districts could be removed from this area due to the very negative impacts they have by right; much less the parking and height impacts next to 25' to 30' homes.

Sincerely,
Elizabeth Bratter, 159 McDonough St, Property Owner
Zoning Map before the Rezoning of the area in question:



Zoning Comparison Chart. Please compare these to MRO at the beginning of the letter.

Character Districts					
DIMENSIONS & USES (10.5A41.10)	LEAST INTENSE DEVELOPMENT				MOST INTENSE DEVELOPMENT
	CD4-L1	CD4-L2	CD4-W	CD4	CD5
MAX Front Yard	15 FT	15 FT	10 FT	10 FT	5 FT
Side Yard	5 FT min. to 20 FT max.	5 FT min. to 20 FT max.	Not required (NR)	Not required (NR)	Not required (NR)
MIN Rear Yard	All Character Districts: Greater of 5' from rear lot line or 10' from centerline of alley				
MAX Building Block Length	80 FT <small>(could be 100 FT with North End Overlay)</small>	80 FT <small>(could be 100 FT with North End Overlay)</small>	200 FT	200 FT	225 FT
MAX Building Coverage	60%	60%	60%	90%	95%
MAX Building Footprint	2,500 SQ FT <small>(could be 3,500 SQ FT with North End Overlay)</small>	2,500 SQ FT <small>(could be 3,500 SQ FT with North End Overlay)</small>	15,000 SQ FT <small>(could be 30,000 SQ FT with North End Overlay)</small>	15,000 SQ FT <small>(could be 30,000 SQ FT with North End Overlay)</small>	20,000 SQ FT <small>(could be 30,000 SQ FT with North End Overlay)</small>
MIN Lot Area/Unit	3,000 SQ FT	3,000 SQ FT	2,500 SQ FT	Not required (NR)	Not required (NR)
MIN Open Space	25%	25%	15%	10%	5%

6 hours to write, 15 minutes to read. Thank you for your time!

City of Portsmouth

Department of Public Works



MEMORANDUM

TO: Karen Conard, City Manager

FROM: Eric Eby, P.E., City Engineer – Parking, Transportation and Planning

DATE: July 8, 2025

SUBJECT: Request for first reading for Annual Omnibus Ordinance, amending Chapter 7, Vehicles, Traffic and Parking

Attached please find the annual omnibus set of ordinances recommended by the Parking and Traffic Safety Committee to be presented to the City Council. This year's omnibus changes are detailed on the attached sheets, and address amendments to the parking ordinance regarding 15-minute parking, no parking, taxi stands, and limited hours loading zones.

By way of background, on March 29, 2000, the City Council adopted Ordinance #4-2000 under Chapter 7, Article I, Section 7.103 of the Vehicles, Traffic and Parking Ordinance. This ordinance was adopted in order to be more responsive to the changing parking needs of downtown. Before its adoption, it often took three readings of the City Council to simply change a parking space from a 2-hour time restriction to a 15-minute one. This process would often take 3-4 months to complete.

The current ordinance authorizes the Parking and Traffic Safety Committee to recommend temporary parking and traffic regulations to the City Council for its approval in the form of its monthly meeting minutes. Once the Council approves these minutes, the temporary regulations are in effect for a period not to exceed one year. During that year the Council and the public have the benefit of seeing how a temporary regulation works before adopting it as a permanent change to the parking ordinance. These temporary regulations are presented at one time to the Council for its consideration. If adopted, the following sections of the parking ordinance would be amended: Chapter 7, VEHICLES, TRAFFIC and PARKING, Article III, TRAFFIC ORDINANCES, Section 7.326, Limited Parking - Fifteen Minutes and Section 7.330 A, No Parking; Article IVA, BUS STOPS AND TAXICAB STANDS, Section 7A.408, Taxi Stands Designated; and Article VI, LOADING ZONES, Section 7.601, Limited Hours Loading Zones.

The attached amendments to Chapter 7 for the Council's consideration summarize the temporary regulations implemented by the Parking and Traffic Safety Committee over the past 12 months.

The Parking and Traffic Safety Committee is requesting that the City Manager put this request for first reading of the Annual Omnibus Ordinance on the Agenda for July 14, 2025 and to schedule first reading at the August 4, 2025 City Council meeting.

Department of Public Works
680 Peverly Hill Road
Portsmouth, New Hampshire 03801

ORDINANCE

THE CITY OF PORTSMOUTH ORDAINS

That Chapter 7, VEHICLES, TRAFFIC and PARKING, Article III, TRAFFIC ORDINANCES, Section 7.326, Limited Parking - Fifteen Minutes and Section 7.330 A, No Parking; Article IVA, BUS STOPS AND TAXICAB STANDS, Section 7A.408, Taxi Stands Designated; and Article VI, LOADING ZONES, Section 7.601, Limited Hours Loading Zones of the ordinances of the City of Portsmouth be amended as follows (deletions from existing language ~~stricken~~; additions to existing language **bolded**; remaining language unchanged from existing):

[Explanatory note not part of ordinance. The following amendments to the parking ordinance were either implemented by the Parking and Traffic Safety Committee on a trial basis last year or are part of ongoing improvements to the parking ordinance and are forwarded to the City Council for approval. Each ordinance change is shown on diagrams attached hereto.]

A. Amend: Chapter 7, VEHICLES, TRAFFIC and PARKING, Article III – TRAFFIC ORDINANCE, Section 7.326: Limited Parking-15 Minutes

Section 7.326: LIMITED PARKING – 15 MINUTES

- A. No person having control or custody of any vehicle shall cause the same to stop or park for longer than 15 minutes at any time between 9:00 a.m. and 8:00 p.m., Monday through Saturday, and between 12:00 p.m. and 8:00 p.m. Sunday, Holidays not included, on the following streets and locations:
- 6. Hanover Street:
 - a. northerly side, first five spaces east from High Street
 - b. southerly side, first ~~two~~ spaces east from Maplewood Avenue
 - c. southerly side, first space east from Vaughan Mall**
 - 12. State Street:
 - a. southerly side, first two metered spaces east from **Washington** ~~Atkinson~~ Street.
-

B. Amend: Chapter 7, VEHICLES, TRAFFIC and PARKING, Article III – TRAFFIC ORDINANCE, Section 7.330, No Parking.

Section 7.330: NO PARKING

A: Unless otherwise designated by ordinance, parking shall be prohibited at all times in the following described streets and locations:

124. State Street:

h. northerly side, beginning at the west curbline of Middle Street, running 100 feet westerly.

114. Sagamore Avenue: both sides, from Shaw Road to Wentworth House Road.

C. Amend: Chapter 7, VEHICLES, TRAFFIC and PARKING, Article IVA – BUS STOPS AND TAXICAB STANDS, Section 7A.408: Taxi Stands Designated

Section 7A.408: TAXI STANDS DESIGNATED (Amended 01/23/2023)

The following areas are hereby designated as Taxi stands:

A. Pleasant Street: easterly side, first parallel parking space north of State Street.

In the event that there are no Taxi Licenses and Medallions issued by the City, any designated Taxi stands shall revert to metered parking spaces until such time as the City issues Taxi Licenses and Medallions.

D. Amend: Chapter 7, VEHICLES, TRAFFIC and PARKING, Article VI – LOADING ZONES, Section 7.601: Limited Hours Loading Zones

Section 7.601: LIMITED HOURS LOADING ZONES

The following locations are established as "Limited Hours Loading Zones" during "Loading Zone Hours" which are defined as Mondays through Saturdays between the hours of 6:00 a.m. and 7:00 p.m. or as otherwise described below. During Loading Zone Hours only

licensed commercial vehicles, vehicles marked for commercial purposes and unmarked noncommercial vehicles with Loading Zone Permits may utilize Limited Hours Loading Zones for up to 30 consecutive minutes if actively engaged in loading or unloading product, merchandise or equipment. At all other times these Loading Zones shall be open parking for all vehicles.

9. Penhallow Street: westerly side, beginning at Commercial Alley and running northerly for a distance of 45 feet, **from 6:00 AM to 3:00 PM Monday through Saturday, and on Sunday from 6:00 AM to 12:00 PM. In addition to Monday through Saturday, this location shall also be a loading zone from 6:00 AM to 12:00 PM. on Sunday.**
-

The City Clerk shall properly alphabetize and/or re-number the ordinance as necessary in accordance with this amendment.

All ordinances or parts of ordinances inconsistent herewith are hereby deleted.

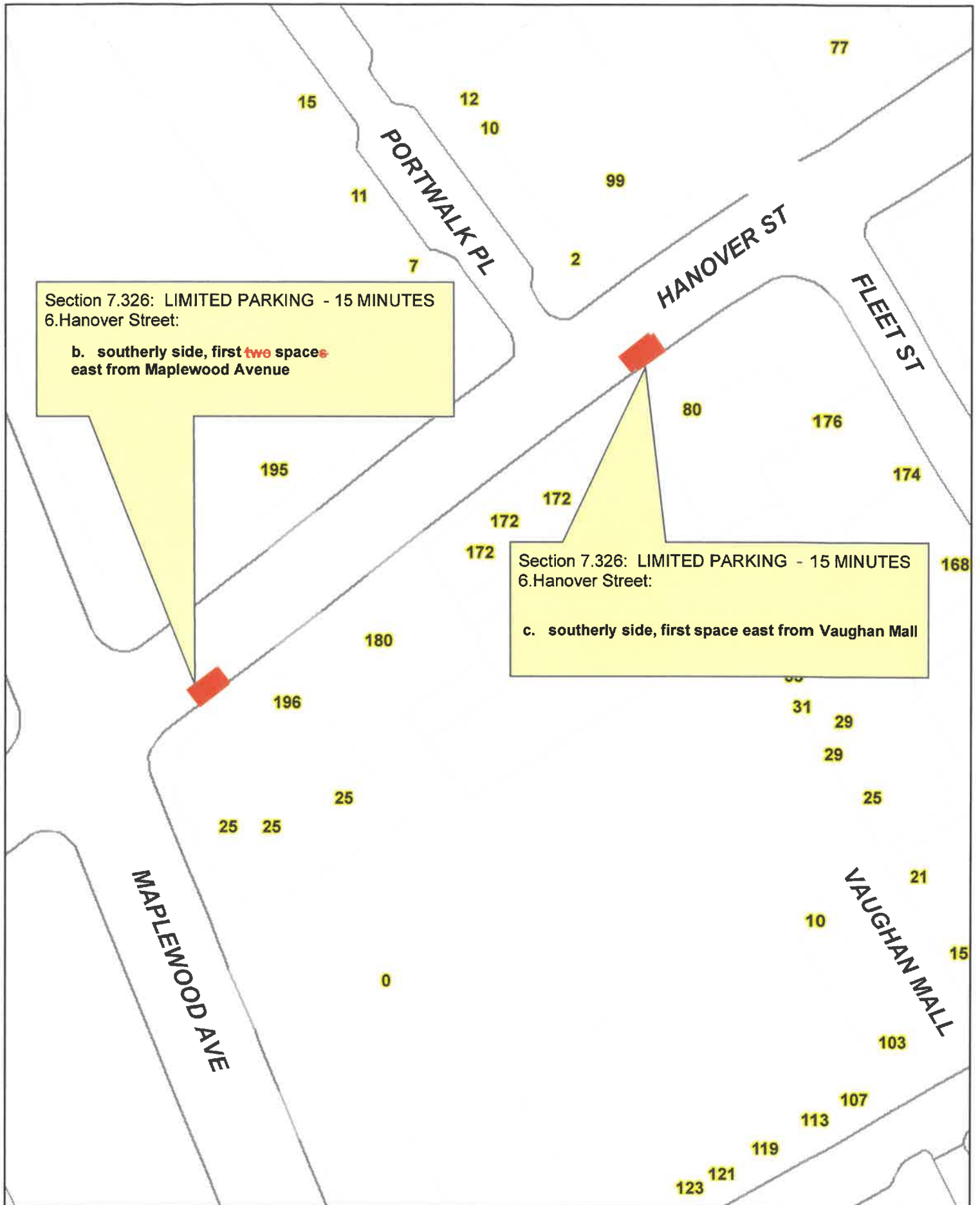
This ordinance shall take effect upon its passage.

APPROVED:

Deaglan McEachern, Mayor

ADOPTED BY COUNCIL

Kelli L. Barnaby, City Clerk

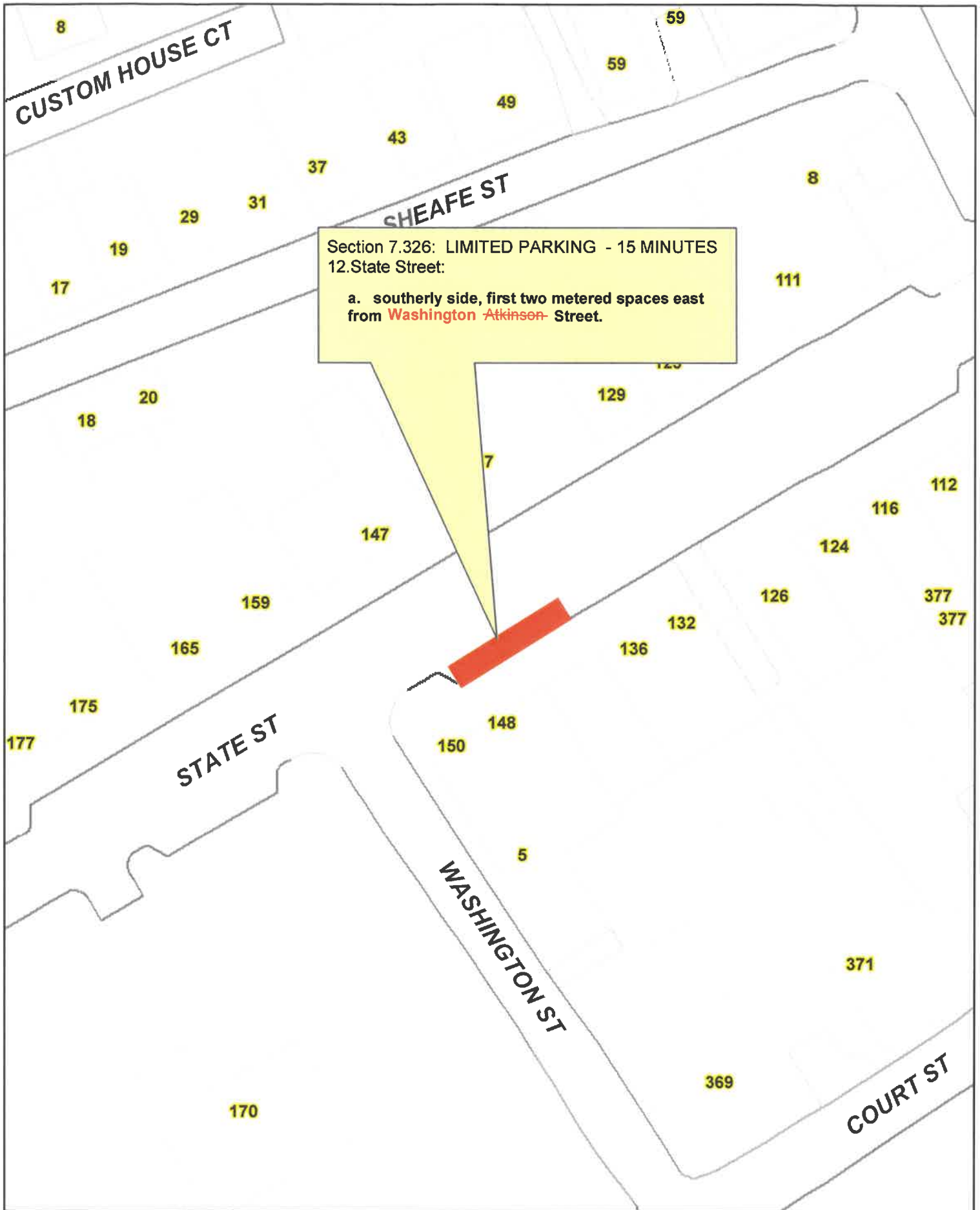


**15 Minutes Parking
Portsmouth, New Hampshire**

Map prepared by Portsmouth Department of Public Works, 18 June 2025
Map document: U:\Projects\0263 Parking Traffic & Safety\Traffic and Parking Ordinance Changes\2025

0 20 40 80 Feet



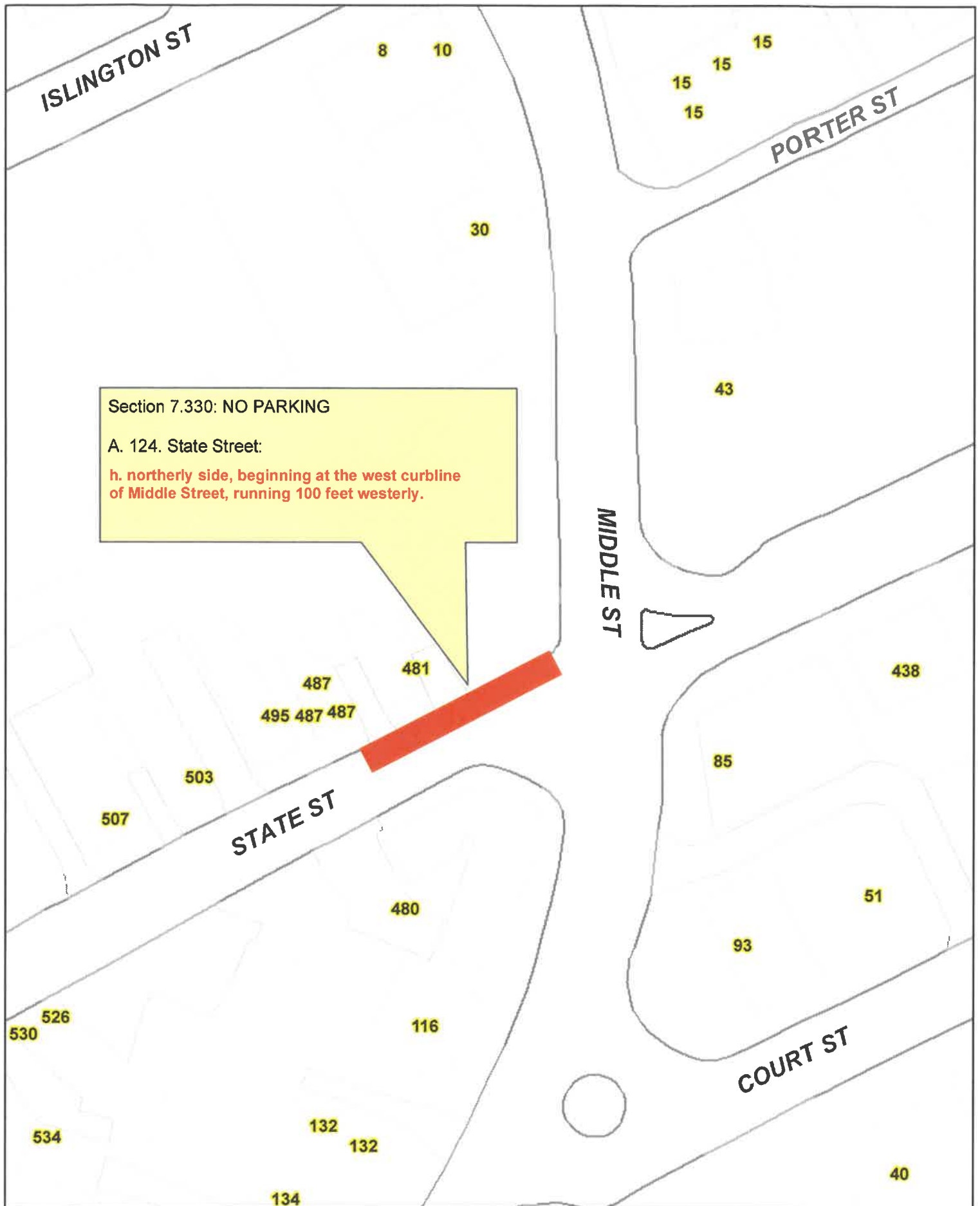


**15 Minutes Parking
Portsmouth, New Hampshire**

Map prepared by Portsmouth Department of Public Works, 18 June 2025
Map document: U:\Projects\0263 Parking Traffic & Safety\Traffic and Parking Ordinance Changes\2025

0 12.5 25 50 Feet



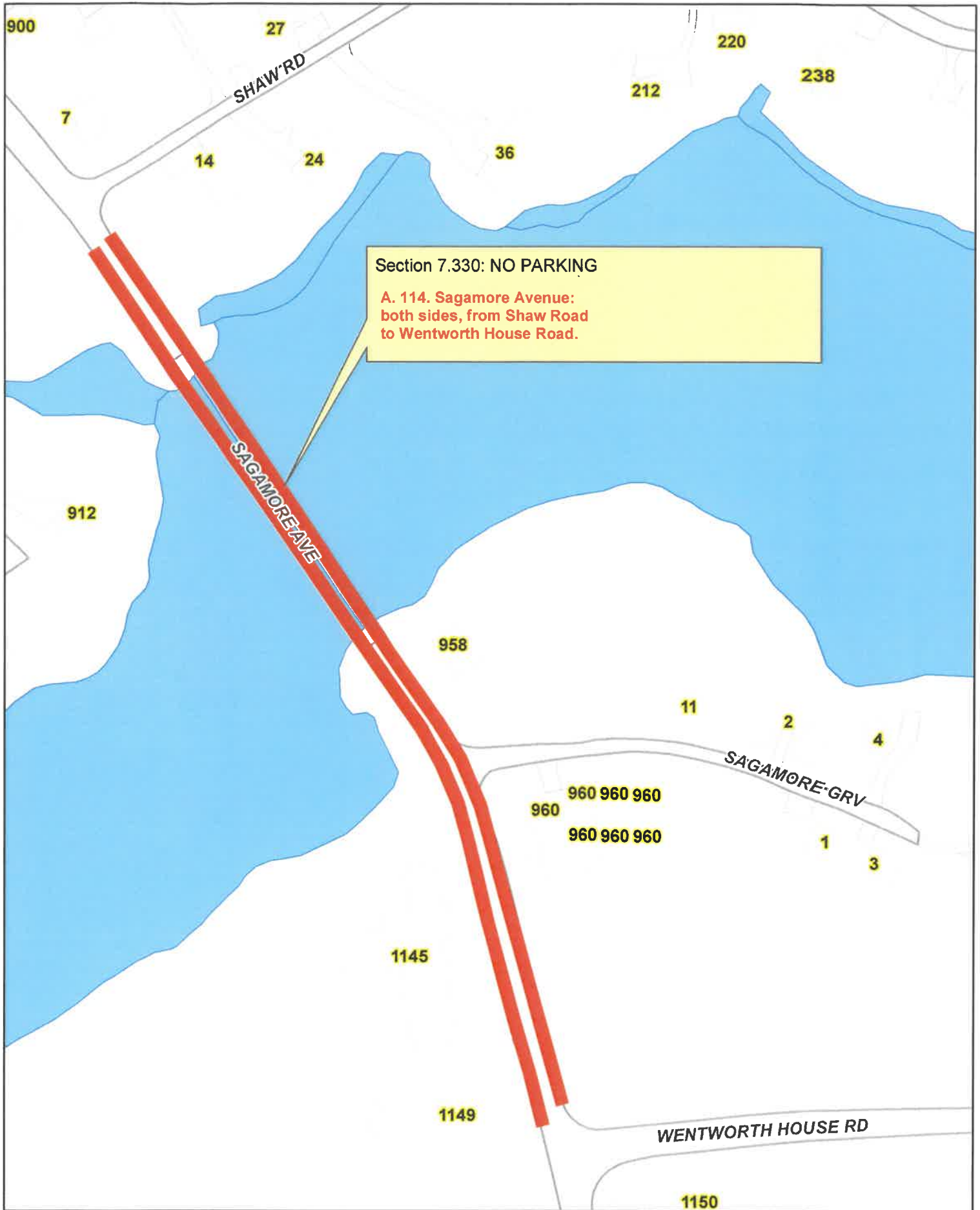


**No Parking
Portsmouth, New Hampshire**

Map prepared by Portsmouth Department of Public Works, 3 June 2025
Map document: U:\Projects\0263 Parking Traffic & Safety\Traffic and Parking Ordinance Changes\2025

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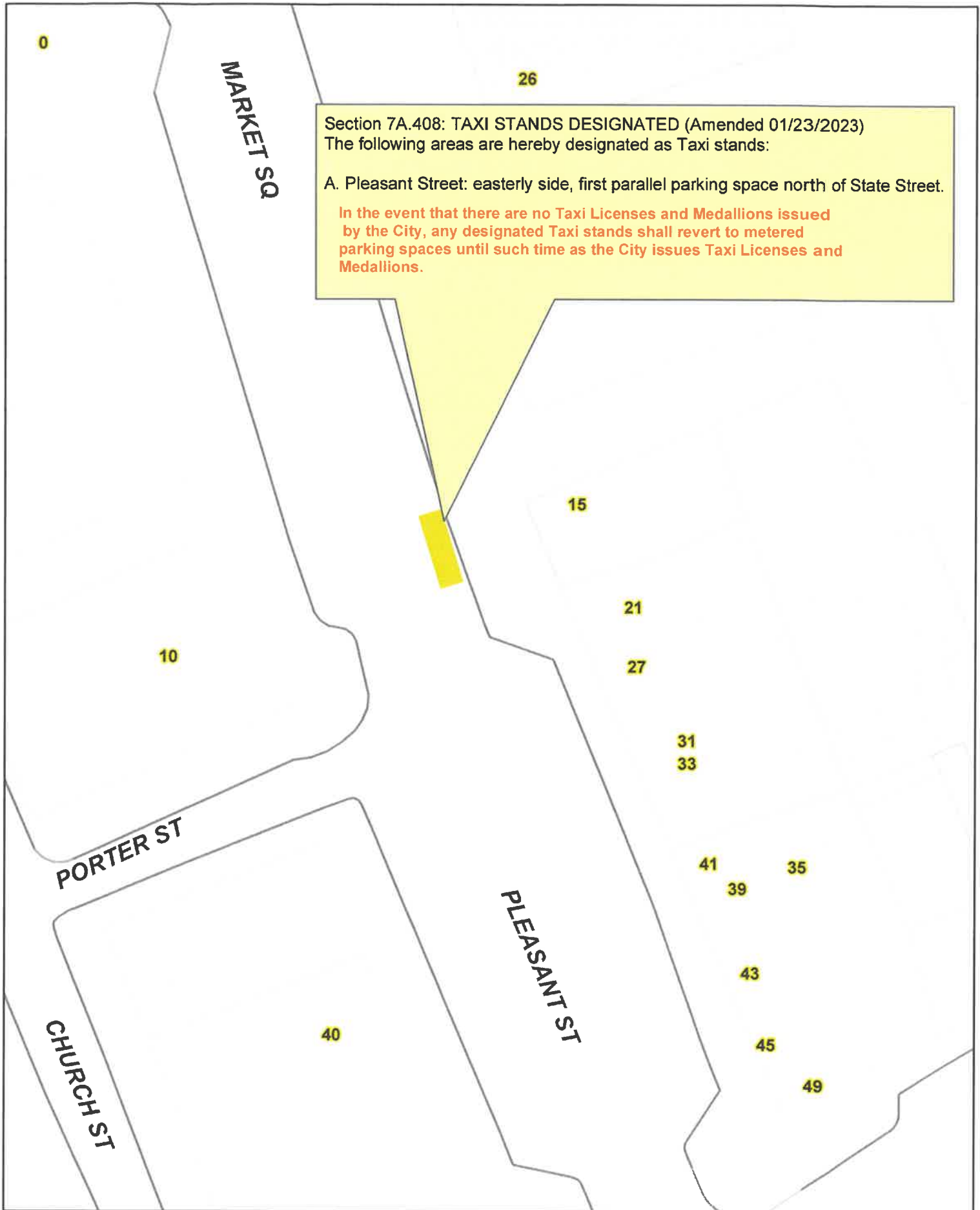


**No Parking
Portsmouth, New Hampshire**

Map prepared by Portsmouth Department of Public Works, 3 June 2025
Map document: U:\Projects\0263 Parking Traffic & Safety\Traffic and Parking Ordinance Changes\2025

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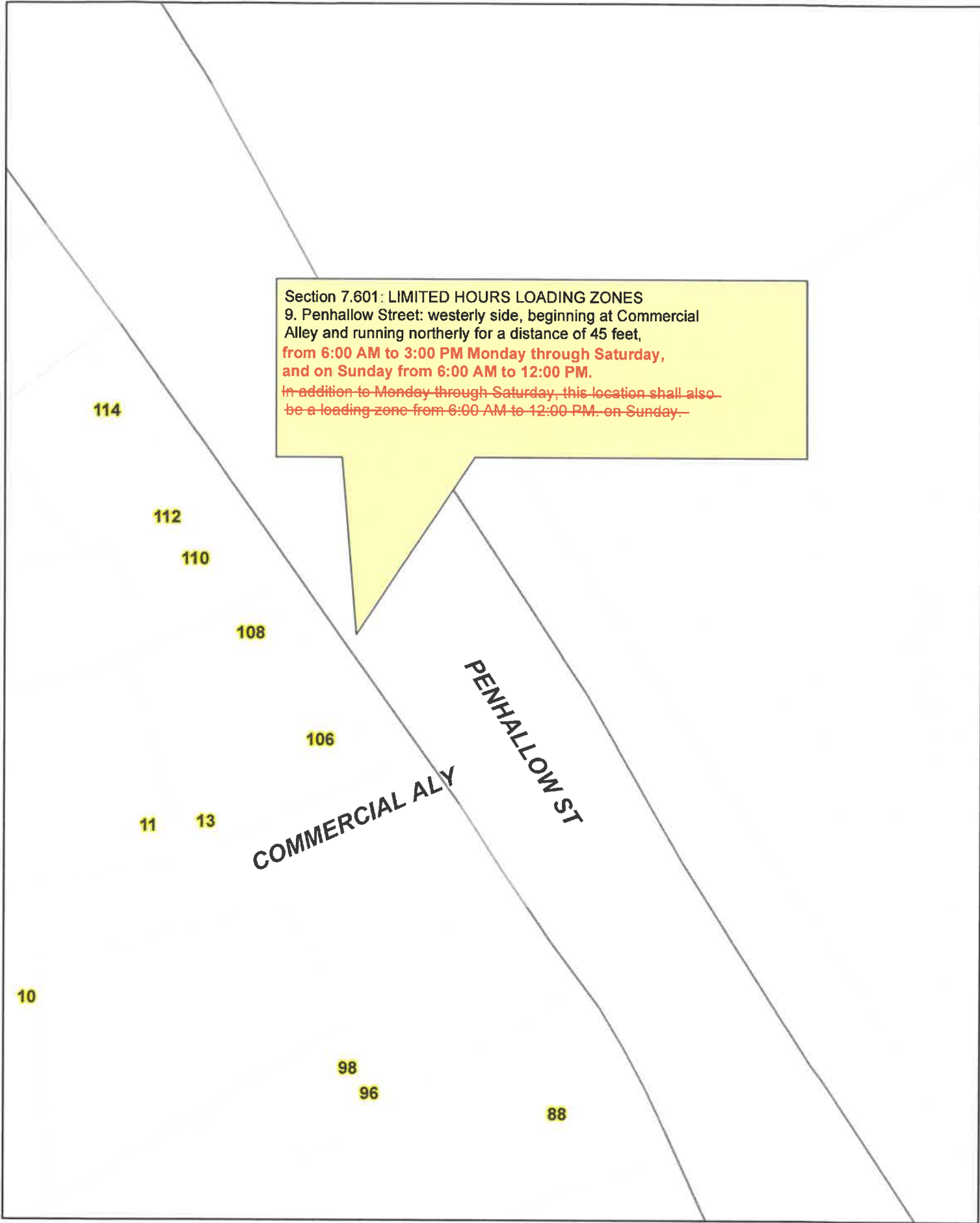
TAXI STANDS
Portsmouth, New Hampshire

Map prepared by Portsmouth Department of Public Works, 3 June 2025
Map document: U:\Projects\0263 Parking Traffic & Safety\Traffic and Parking Ordinance Changes\2025

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Section 7.601: LIMITED HOURS LOADING ZONES
9. Penhallow Street: westerly side, beginning at Commercial Alley and running northerly for a distance of 45 feet,
from 6:00 AM to 3:00 PM Monday through Saturday,
and on Sunday from 6:00 AM to 12:00 PM.
~~In addition to Monday through Saturday, this location shall also
be a loading zone from 6:00 AM to 12:00 PM on Sunday.~~



**Limited Hours Loading Zone
Portsmouth, New Hampshire**

Map prepared by Portsmouth Department of Public Works, 3 June 2025
Map document: U:\Projects\0263 Parking Traffic & Safety\Traffic and Parking Ordinance Changes\2025

0 5 10 20 Feet
| | | | |





CITY OF PORTSMOUTH

Finance Department

One Junkins Avenue | Portsmouth, New Hampshire 03801
 ndlunney@cityofportsmouth.com | (603) 610-7223

DATE: July 7, 2025
 TO: Karen Conard, City Manager
 FROM: Nathan Lunney, Deputy City Manager – Finance & Administration
 RE: Proposed timeline for Fall 2025 CIP process

Please consider the following timeline for the Capital Improvement Plan process for FY27-32.

Kickoff

Mon, Jul 14	City Council Regular Meeting – verbal report on Citizen Requests
Mon, Aug 18	City Council Regular Meeting – CIP Kickoff presentation Brief presentation to be provided during the meeting
Thu, Aug 21	Planning Board Meeting – repeat CIP Kickoff presentation

Submission

Fri, Sep 19	Citizen Request Submission Deadline Allows 60 days from verbal announcement, 30 days from kickoff
Fri, Sep 26	City Departments Submission Deadline for CIP Projects

Compilation and Review

Sep 19 – Oct 3	Staff review Citizen Requests and prepare response/presentation
Thu, Oct 9	City Council Citizen Requests Subcommittee – review requests – 6:00pm
Sep 26 – Nov 5	Staff review Citizen and Department Requests and build proposed CIP Internal Review Committee to review and vet proposals

Presentation and Adoption

Wed, Nov 12	CIP Joint Work Session – City Council and Planning Board – 6:00pm Full presentation of Proposed CIP FY27-32 with Public Comment
Mon, Nov 17	City Council Regular Meeting – Public Hearing on CIP (with PB)
Thu, Nov 20	Planning Board Meeting – recommendation of CIP to City Council
Mon, Dec 8	City Council Regular Meeting – adoption of CIP (Still have Dec 18 PB and Dec 22 CC if needed)